

MARBORG INDUSTRIAL DEVELOPMENT



SCOPE OF WORK:

NEW DEVELOPMENT OF A NON-RESIDENTIAL SINGLE STORY 3,306 GROSS SQUARE FOOT LIGHT INDUSTRIAL BUILDING COMPRISED OF A RECEIVING AREA, BREAK AREA, AND RESTROOMS. THE PROJECT WILL ALSO INCLUDE SIX (6) SURFACE PARKING SPACES, OF WHICH ONE SPACE IS VAN ACCESSIBLE, AND ONE IS EVCS READY, ONE (1) SHORT TERM BICYCLE RACK, AND (1) LONG TERM BICYCLE LOCKER, A 102 SQUARE FOOT TRASH ENCLOSURE, TWO STAGING AREAS FOR EQUIPMENT AND VEHICLES AND PERIMETER FENCING AND PLANTERS.

STORM WATER MANAGEMENT PLAN (SWMP): ALL PROPOSED CONSTRUCTION SHALL COMPLY WITH THE CITY OF SANTA BARBARA'S BEST MANAGEMENT PRACTICES. STORM WATER POLLUTION PREVENTION BMP'S TO BE USED INCLUDE: SILT FENCE SE-1, STREET SWEEPING & VACUUMING SE-7, STABILIZED CONSTRUCTION ENTRANCE TC-1, AND MATERIAL DELIVERY & STORAGE AREA CONSTRUCTION STAGING AREA WM-1. SEE CIVIL SHEET C4.0 FOR STORM WATER BMP DETAILS AND FURTHER DESCRIPTION OF THE EROSION CONTROL PLAN, TYP.

TIER 3 SWMP COMPLIANCE: SEE CIVIL SHEET C2.0
ON SITE SWMP BMP'S WILL INCLUDE UNDERGROUND RETENTION CHAMBERS.
OFF SITE SWMP BMP'S WILL INCLUDE BIOTRETENTION AREAS IN THE PUBLIC RIGHT OF WAY.

AN AUTOMATIC FIRE SPRINKLER SYSTEM AND FIRE ALARM MONITORING SYSTEM ARE REQUIRED, AND ARE UNDER SEPARATE PERMIT.

ON-SITE SERVICE CONNECTIONS FOR UTILITIES THAT SERVE THIS PROPERTY, AND ALL SITE UTILITIES SHALL BE SHALL PLACED BE UNDERGROUND AS PER CITY OF SB MUNICIPAL CODE CHAPTER 22.38.

THE PROPOSED PROJECT IS CONSISTENT WITH EXISTING ZONING, GENERAL PLAN AND THE CURRENT AND LOCAL COASTAL PLAN DESIGNATIONS. THE PROPERTY IS ZONED M-1/SD-3 - LIGHT MANUFACTURING COASTAL OVERLAY ZONE (NON-APPEALABLE).

APPLICATIONS REQUESTED

- DESIGN REVIEW APPROVAL BY ABR (06-01-2020 CONTINUATION TO PC)
- COASTAL DEVELOPMENT PERMIT (CDP2019-00033)
- PUBLIC WORKS CONSTRUCTION PERMIT
- DEDICATION OF SIDEWALK EASEMENT
- NEW WATER AND/OR SEWER SERVICE CONNECTIONS
- BUILDING PERMIT

CODES

BUILDING DESIGNED IN ACCORDANCE WITH THE FOLLOWING:

2019 CALIFORNIA RESIDENTIAL CODE (CRO)
2019 CALIFORNIA ADMINISTRATIVE CODE (CAC)
2019 CALIFORNIA BUILDING CODE (CBC)
2019 CALIFORNIA ELECTRICAL CODE (CEC)
2019 CALIFORNIA MECHANICAL CODE (CMC)
2019 CALIFORNIA PLUMBING CODE (CPC)
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA FIRE CODE (CFC)
2019 CALIFORNIA EXISTING BUILDING CODE
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
2019 CALIFORNIA REFERENCED STANDARDS CODES
SBMC 22.24 FLOODPLAIN MANAGEMENT ORDINANCE
FEMA TECHNICAL BULLETINS
FEMA PUBLICATIONS
NFPA 17 - DRY CHEMICAL EXTINGUISHING SYSTEMS
NFPA 72 - NATIONAL FIRE ALARM CODES
NFPA 2001 - CLEAN AGENT FIRE EXTINGUISHING SYSTEMS
ASWCE 24-14
AND ALL AMENDMENTS AS ADOPTED IN CITY OF SANTA BARBARA
MUNICIPAL ORDINANCES 5639

BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES:

THE FOLLOWING SHALL BE CONSIDERED REQUIREMENTS FOR THIS PROJECT.

ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.

STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.

FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.

NON-STORMWATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED AT THE PROJECT SITE.

EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE

TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.

SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.

ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.

SPECIAL INSPECTIONS AND STRUCTURAL OBSERVATIONS :

TBD

INSPECTIONS SHALL BE CALLED IN BY CONTRACTOR FOR INSPECTION 72 HOURS PRIOR TO NEEDED INSPECTION.

SYMBOLS

	SECTION CUT		DIMENSION LINES
	DETAIL KEY		CENTER LINE
	ELEVATION KEY		REVISION NO. AREA OF REVISION
	COLUMN GRID IDENTIFICATION		EXISTING; ITEMS NOT DESIGNATED (E) ARE CONSIDERED NEW.
	ELEVATION SYMBOL		SECTION CUT SYMBOL
	WORK CONTROL/DATUM		ROOM NAME & NUMBER
	DOOR SYMBOL AND DOOR NUMBER		KEYNOTE SYMBOL

PROJECT TEAM

OWNER:	MARBORG INDUSTRIES P.O. BOX 4127 SANTA BARBARA, CA 93140 (805) 963-1852	ARCHITECT:	RJC INC. P.O. BOX 60202 SANTA BARBARA, CA 93160-0202 (805) 692-9477
CIVIL ENGINEER / LANDSCAPE ARCHITECT:	RRM DESIGN GROUP 10 EAST FIGUEROA ST., SUITE 1 SANTA BARBARA, CA93101 (805) 963-8283	STRUCTURAL ENGINEER:	DOYLE-MORGAN STRUCTURAL ENGINEERING INC. 2040 ALAMEDA PADRE SERRA, SUITE 101 SANTA BARBARA, CA 93103 (805) 569-1134
MECHANICAL ENGINEER:	JVA MECHANICAL ENGINEERING 10450 TELEGRAPH ROAD VENTURA, CA 93004 (805) 674-8842	ELECTRICAL ENGINEER:	JMPE ELECTRICAL ENGINEERING & LIGHTING DESIGN 156 WEST ALAMAR AVENUE SANTA BARBARA, CA 93105 (805) 569-9216

SITE SUMMARY

PROJECT ADDRESS:		2 QUARANTINA STREET, SANTA BARBARA, CA 93103
APN:	017-113-024	
ZONING:	M-1/SD-3	
GENERAL PLAN NEIGHBORHOOD:	EAST BEACH	
GMP DEVELOPMENT AREA:	DOWNTOWN	
EXISTING COASTAL PLAN LAND USE:	INDUSTRIAL	
HIGH FIRE:	NO	
FEMA FLOOD ZONE:	A	
SWMP COMPLIANCE:	TIER 3	
CONSTRUCTION TYPE:	-	
PROPOSED OCCUPANCY:	B & F-1	
GRADING PROPOSED:		
CUT OUTSIDE BUILDING	2,100 CY	
FILL OUTSIDE BUILDING	70 CY	
CUT UNDER BUILDING	50 CY	
FILL UNDER BUILDING	0 CY	
GROSS LOT AREA:	1.26 +/- ACRES	
SETBACKS:		
FRONT (QUARANTINA STREET)	0'	
SIDE (EAST)	0'	
SIDE (QUINIENTOS STREET)	0'	
REAR (SOUTH)	0'	

SITE DATA:

SITE DEVELOPMENT:		
LOT SIZE	54,699 SQ. FT. (1.26 +/- ACRE)	
PRE-EXISTING SITE COVERAGE (DEMOLISHED UNDER PERMIT # BLD2019-06187)		
BUILDING (GROSS)	3,433 SQ. FT.	
PROPOSED SITE COVERAGE:		
BUILDING (GROSS)	3,306 SQ. FT.	6.04%
TRASH ENCLOSURE	102 SQ. FT.	0.19%
HARDSCAPE	489 SQ. FT.	0.89%
LANDSCAPE	6,701 SQ. FT.	12.25%
INTERNAL PAVING (PARKING, DRIVEWAYS, PEDESTRIAN)	44,101 SQ. FT.	80.63%
TOTAL SITE AREA	54,699 SQ. FT.	100%

GRADING:
< 2% SLOPE

BUILDING AREAS:

PROPOSED NET AREA	3,151 SQ. FT.
TOTAL	3,151 SQ. FT.

PARKING REQUIREMENTS:

PROPOSED BUILDING 3,151 SQ. FT. / 500	
REQUIRED VEHICLE PARKING	6 SPACES
PROPOSED VEHICLE PARKING	6 SPACES
REQUIRED BICYCLE PARKING (1) LONG TERM/ (7) VEHICLE SPACES	
PROPOSED BICYCLE PARKING (2) SHORT TERM, (1) LONG TERM SPACES	
PROPOSED VEHICLE PARKING:	
ACCESSIBLE PARKING SPACES	1
EVCS READY PARKING SPACES	1
STANDARD PARKING SPACES	4
TOTAL SPACES	6
TRUCK TRAILER	0

SHEET INDEX:

TITLE SHEET	T1.0
DEMOLITION PLAN	C1.0
GRADING AND DRAINAGE PLAN	C2.0
SITE SECTIONS	C2.1
UTILITY PLAN	C3.0
EROSION CONTROL PLAN	C4.0
NOTICE OF VIOLATION	C5.0
CONCEPTUAL REFERENCES	A0.01
SITE PLAN	A0.02
ENLARGED SITE PLAN - SIDEWALK & SECTIONS	A0.03
PREFAB FENCE WALL SYSTEM DETAILS	
FLOOR PLAN	A1.01
BICYCLE PARKING PLANS	A1.02
ELEVATIONS	A2.01
ELEVATIONS	A2.02
PERSPECTIVES	A3.01
PERSPECTIVES	A3.02
PERSPECTIVES	A3.03
GENERAL NOTES, SYMBOLS, FIXTURE SCHEDULE	E0.1
PHOTOMETRIC SITE LIGHTING PLAN	E1.1
OUTDOOR LIGHTING COMPLIANCE FORMS	E0-2
PHOTOMETRIC SITE LIGHTING PLAN	E1.1
LANDSCAPE PLAN	L1.0



Estimated Building & Safety Division Design Flood Elevation *(DFE) Determination + Base Flood Elevation (BFE)

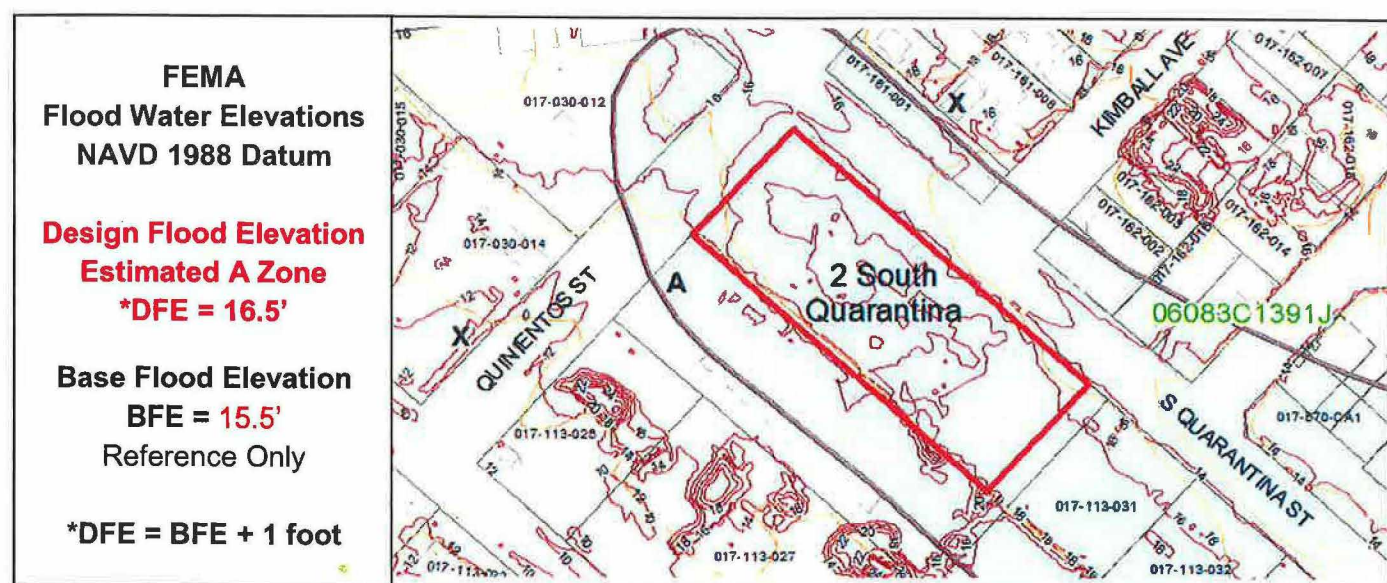
*Estimated SFHA A Zones are not accurate for Flood Insurance purposes

Date of Evaluation: January 28, 2020
Structure Address: 2 South Quarantina Street
Owner Applicant: John Cuykendall

Santa Barbara County Panel: 1391 of 1835
FEMA NFIP Community: City of Santa Barbara
Number + Panel + Suffix: 060335 + 1391 + J (Insurance use)

Building Permit: BLD2020-00224
APN: 017-113-024
Email: jcuykendall@dudek.com
Panel #: 06083C1391J (to order a map)
Effective Date: 9/28/18
Map Revalidated: September 29, 2018

Building Use: ☐ Employee Break Bldg ☐ xxx ☐ Historical
FIRM Zone(s): ☒ Estimated A Zone ☐ Floodway SFHA AE ☐ Pre-FIRM (xxxx) ☐ Lidar Elevations
BFE Source: ☒ Digital FIRM Map ☐ FIS Profile



NON RESIDENTIAL STRUCTURES - ESTIMATED A ZONE - *SIMPLIFIED APPROACH

Non Residential structures substantially improved or damaged may be required to elevate the building at or above the DFE, exceptions may apply to existing portions built prior to Dec 15, 1978. All new or altered work shall comply with FEMA flood mitigation requirements. *The Owner should consider a Site Specific Engineering Analysis to obtain a BFE/DFE acceptable for flood insurance purposes.
References: 2016 CBC 1612, 2016 CRC R322, ASCE 24-14, and ASCE 7-10 Chapter 5.

STRUCTURE(S) shown may not represent the buildings proposed.

BUILDING PERMITS are required before any new work, addition, or remodeling of structures occur in a Special Flood Hazard Area (SFHA) - City of Santa Barbara Municipal Code MC 22.24.

FLOOD INSURANCE is required for Federally Financed structures located in a SFHA 'A', 'AO', 'AH', 'AE' 'D' & 'VE' zones. Flood Insurance is not required in 'X' & Shaded 'X' zones.

Chris Short, Senior Plan Check Engineer & Floodplain Coordinator
(805) 564-5551 cshort@santabarbara.gov
Community Development Department, Building & Safety Division
630 Garden Street, Santa Barbara, Ca. 93102

H:\C:\Users\chshort\Desktop\Flood\FLOODPLAIN DESIGN CRITERIA 2020.doc

FLOODPLAIN DESIGN CRITERIA

This Project is located within a Special Flood Hazard Area (SFHA). The National Flood Insurance Program (NFIP) requires special construction to mitigate flood damage of new & remodeled structures or additions located in a SFHA. This project's design, engineering, work & materials shall comply with the NFIP regulations (44 CFR parts 59-78) & S.B. City Municipal Code 22.24.160 "Floodplain Management."

Additional design clarification is contained in the NFIP Technical Bulletins TB 1 thru 11.
See www.fema.gov/fima/techbul.htm or copies maybe reviewed at Building & Safety.

- BFE & Plan Datum (1988) = 15.5 ft (Specify one only; NGVD or NAVD)
- Under floor grade elevation = 16.5 ft (Top of bottom floor)
- Lowest finish floor elevation = 16.5 ft (Top of next higher floor)
- Attached garage lowest floor = N/A (Top of slab)
- Lowest equipment elevations = 15.6 ft (AC condenser, elect, mech, ducts, etc.)
- Lowest adjacent finish grade = 14.5 ft (LAG at building / attached structures)
- Highest adjacent finish grade = 16.48 ft (HAG at building / attached structures)
- Number of flood vents = N/A (locations allows flow thru)
- Net free area of flood vents = N/A (sq. inches)

ELEVATION CERTIFICATE(S) FEMA FORM 81-31, FEB 09 (Required during Construction, Not Plan Check)

FEMA ELEVATION CERTIFICATE(S), shall be completed by a licensed surveyor or civil engineer & submitted to the Building Department for EACH new building, addition or substantial improvement.

- PRIOR TO FOUNDATION POUR: The 1st ELEVATION CERTIFICATE(S) is required: Verification is required that the top of all foundation forms are set to effectively raise required finish floor(s) & ancillary equipment pads at or above the BFE. All supporting materials located below the BFE shall be flood resistant per NFIP regulations.
- PRIOR TO CONSTRUCTION SIGN OFF: a final Elevation certificate(S) is required after installation of all site related flood elements. Upon installation of all elements required to be elevated at or above the BFE; floors, electrical & mechanical equipment, etc., a final certificate shall be submitted to the Building Department verifying compliance.
- FIELD REVISIONS which affect the floodplain requirements shall not be made without first obtaining a revision permit from the City.

WET FLOODPROOFING CERTIFICATE(S) FEMA Form 086-0-34 (6-15) (Required after Construction & Prior to Certificate of Occupancy)

- FEMA FLOODPROOFING CERTIFICATE(S), are required to be completed by the design professional & submitted to the Building Department for EACH new building, addition or substantial improvement.

ARCHITECT / DESIGNER COMPLIANCE CERTIFICATION

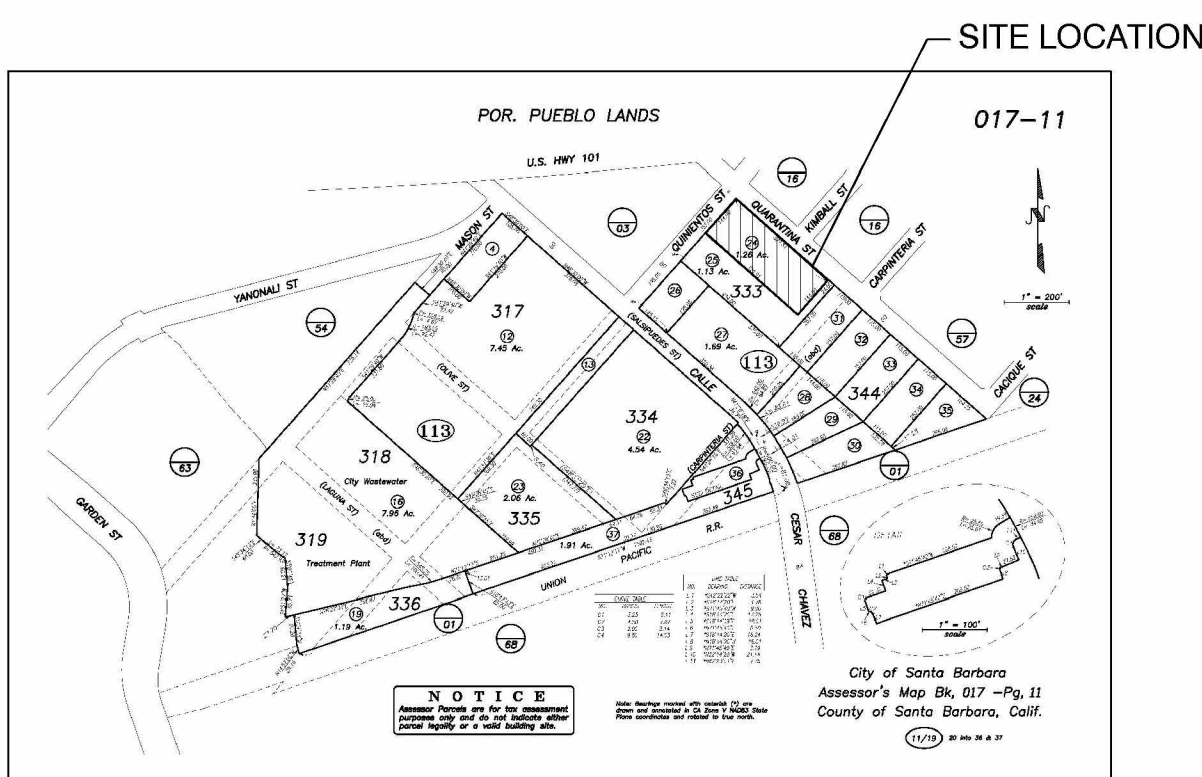
I hereby certify that these drawings, engineering and specifications are in full compliance with all NFIP and City flood damage mitigation regulations as outlined in the first paragraph.

08/05/20
Architect / Designer Date

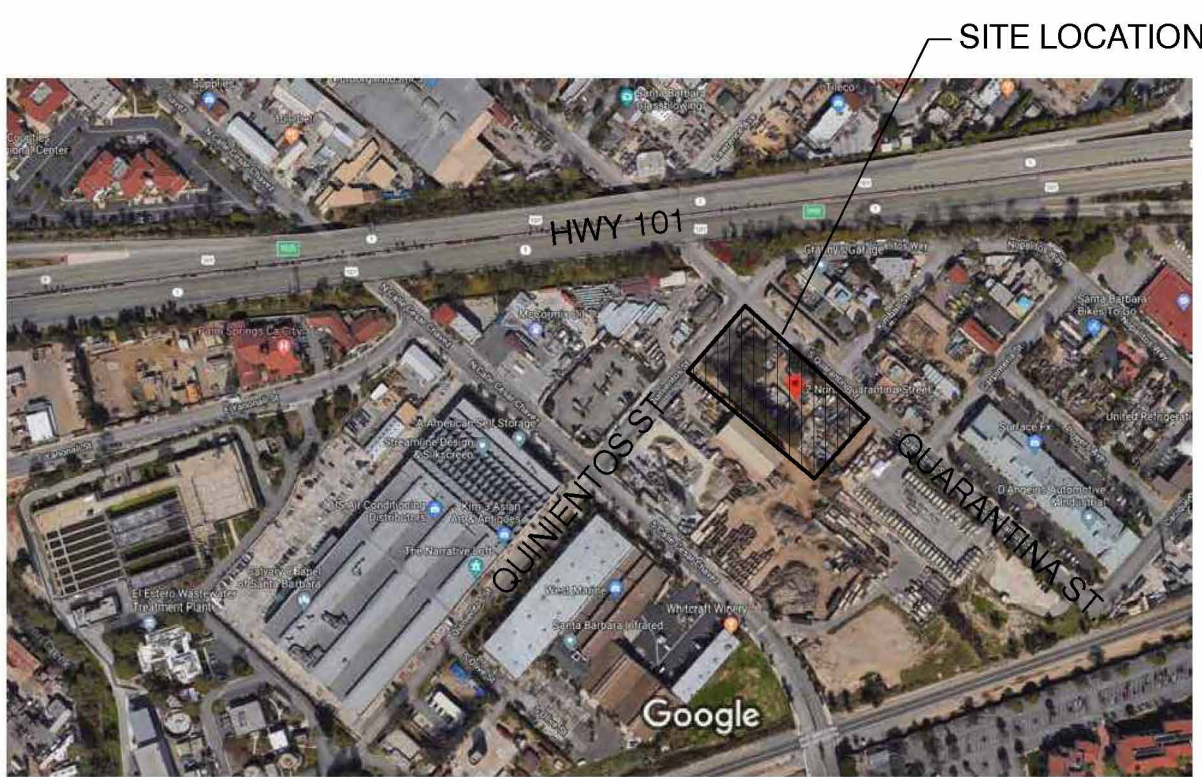
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SWMP IMPERVIOUS BREAKDOWN

PROPOSED AREA	ON-SITE AREA	OFF-SITE AREA
NEW IMPERVIOUS	17,170 SF	2,636 SF
REPLACED IMPERVIOUS	32,295 SF	2,535 SF
REMOVED IMPERVIOUS	95 SF	582 SF



APN MAP
SCALE: NTS



VICINITY MAP
SCALE: NTS





1 REFERENCE BUILDING A
S



2 REFERENCE BUILDING A
S



6 REFERENCE BUILDING C
N



7 REFERENCE BUILDING C
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8 REFERENCE BUILDING C
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REFERENCE BUILDING A

26 S

ONE STOREY VARIABLE HEIGHT BUILDING STRUCTURE BUILT IN METAL PANEL ROOFING AND WITH METAL SIDING AND STUCCO WALLS

THIS BUILDING FORMS AS A RETAIL BUILDING FOR MARINE RELATED PRODUCTS

REFERENCE BUILDING C

122 PERSIMMON AVENUE
RAILROAD SQUARE - INDUSTRIAL ZONING

TWO STOREY STRUCTURE BUILT USING STUCCO WALLS AND METAL ROOFING

THIS BUILDING CONSISTS OF MULTIPLE STOREY COMMERCIAL SPACES WITH METALLIC ROLL-UP DOORS

PROJECT COMPATIBILITY ANALYSIS CRITERIA

NE DEVELOPMENT OF SINGLE STOREY ROSS SQUARE FOOT LIGHT INDUSTRIAL BUILDING COMPRISED OF REPAIRING REPAIRING REPAIRING RESTROOMS THE PROJECT WILL ALSO INCLUDE SIX (6) SURFACE PARKING SPACES OF WHICH ONE SPACE IS ACCESSIBLE TO 102 SQUARE FOOT TRASH ENCLOSURE AND TWO STORAGE AREAS FOR EQUIPMENT AND REPAIRS

THE PROJECT IS COMPLIANT WITH THE CITY CHARTER AND SANTA BARBARA MUNICIPAL CODE TITLE 20 AND IS CONSISTENT WITH DESIGN GUIDELINES APPLICABLE TO THE LOCATION OF THE PROJECT WITHIN THE CITY DESIGN OF THE PROJECT IS COMPATIBLE WITH THE DESIRABLE ARCHITECTURAL QUALITIES AND CHARACTERISTICS OF HIGH DISTINCTIVE OF THE PARTICULAR MUNDANITY NEIGHBORHOOD SURROUNDING THE CITY CENTER MASS BUILDING HEIGHTS AND SCALE OF THE PROJECT ARE ALL APPROPRIATE FOR THIS SPECIFIC LOCATION AND NEIGHBORHOOD THE NEIGHBORHOOD HAS HISTORICALLY BEEN AN INDUSTRIAL AREA AND DOES NOT HAVE ANY DESIGNATED HISTORIC RESOURCES INCLUDING HISTORIC STRUCTURES OR MONUMENTS OR NATURAL FEATURES WITHIN THE CITY CENTER INSTALLED THE PROJECT IS DESIGNED TO BE SENSITIVE TO THE NEIGHBORING STRUCTURES

THE ENTIRE NEIGHBORHOOD IS ESSENTIALLY BUILT BONE EXTENDING FROM HIGHWAY 101 TO THE RAILROAD TRACKS AND DOES NOT OBTAIN ANY SPECIAL PUBLIC USES SUBJECT TO THE PROPOSED DESIGN OF THE PROJECT DOES NOT IMPACT ANY ESTABLISHED SPECIAL PUBLIC USES

AS RECOMMENDED BY THE ADDITIONAL OPEN SPACE AROUND THE FRONT OF THE SINGLE STRUCTURE HAS BEEN INCORPORATED INTO THE PROJECTS DESIGN PLANNING AREAS ALONG THE ENTIRE STREET FRONTAGE OF THE PROPOSED DESIGN WILL HELP IMPROVE THE URBAN LANDSCAPE OF THE NEIGHBORHOOD AND INCORPORATE BETTER USE OF THE PUBLIC SIDEWALK



LOCATION MAP

REFERENCE BUILDINGS D

ONE STOREY STRUCTURES USING STUCCO WALLS AND METALLIC SIDING AND METALLIC ROOFING

THIS BUILDING CONSISTS OF MULTIPLE STOREY COMMERCIAL SPACES WITH METALLIC ROLL-UP DOORS



10 REFERENCE BUILDING D
E



11 REFERENCE BUILDING E
S



3 REFERENCE BUILDING B
S

REFERENCE BUILDING B

26 S

APPROVED BY THE BOARD IN CONSIDERATION OF THE PROJECT COMPATIBILITY CRITERIA IN 2019-2020

THE STRUCTURE IS BUILT USING METAL PANEL ROOFING AND SIDING OVER MU BASE AND IT FORMS AS A HIGH BULKY ONE STOREY STOREY BUILDING

THIS BUILDING IS THE STRUCTURE MOST RECENTLY BUILT IN THE NEIGHBORHOOD



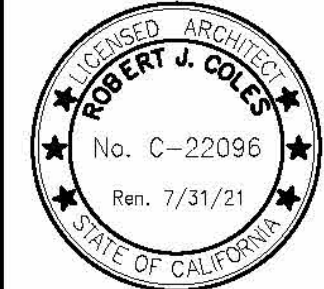
4 REFERENCE BUILDING B
S



5 REFERENCE BUILDING B
S



12 REFERENCE BUILDING
N



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RJC Inc.

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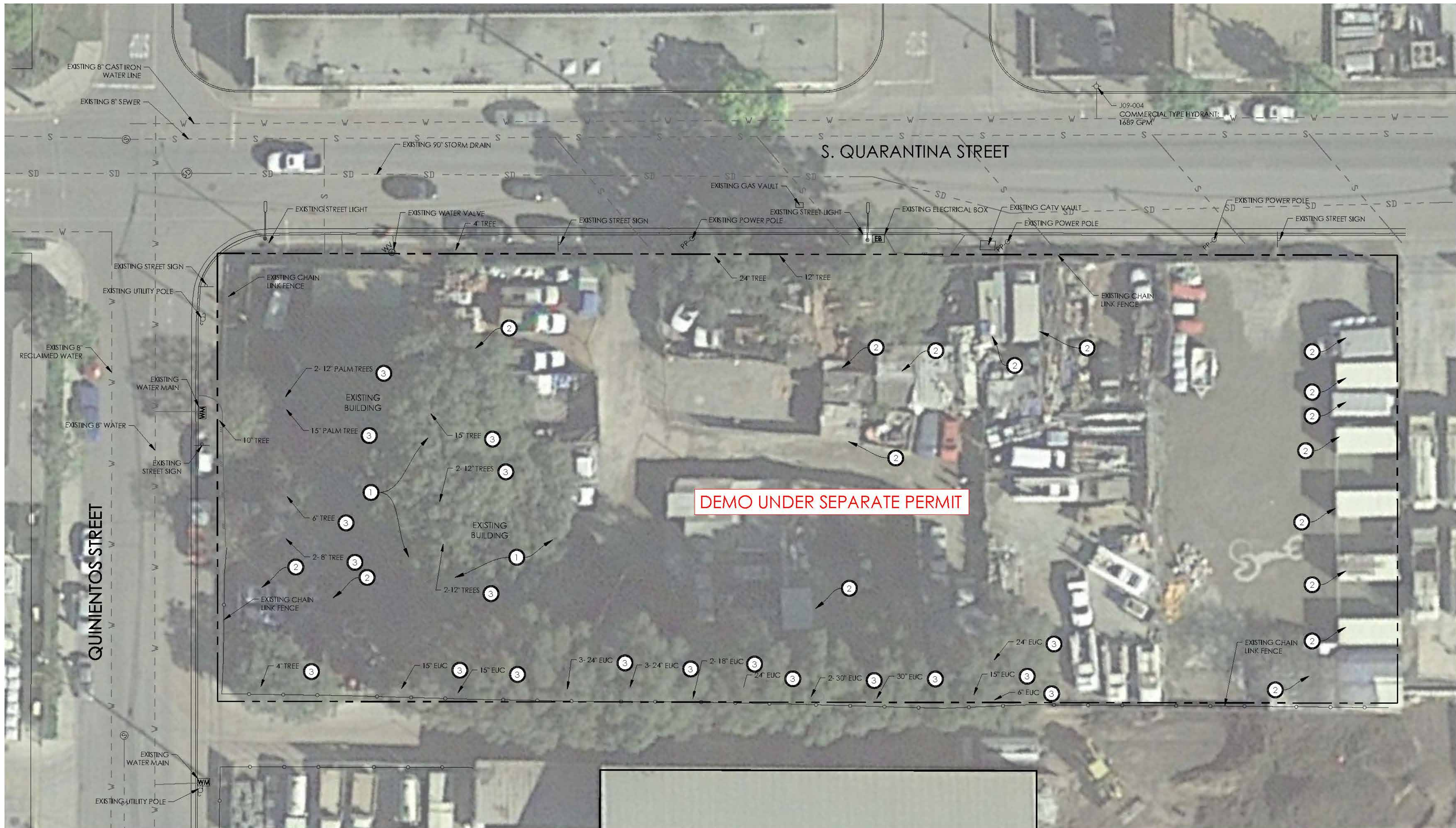
MARBORG
2 SOUTH QUARANTINA STREET
Santa Barbara, CA
93103

MARBORG
INDUSTRIAL DEVELOPMENT

Drawn by: EO
RJC File Number: 2019.16

Revisions:
NOT FOR CONSTRUCTION

CONCEPTUAL REFERENCES
A001
Scale: as noted
Date: 10/08/2020
Project: MARBORG QUARANTINA



PROJECT DEMOLITION NOTES:

1. REMOVE AND DISPOSE OF ALL STRUCTURES, CONCRETE, AND AC PAVEMENT WITHIN PROPERTY LIMITS. INCLUDE SHEDS, STORAGE AREAS, FENCES (NOT PROPERTY LINE FENCES), AND ANY REMAINING ONSITE DEBRIS.
2. EXCAVATE AND REMOVE ALL ONSITE UTILITIES TO PROPERTY LIMITS. CAP UTILITIES AT PROPERTY LINE.

GENERAL DEMOLITION NOTES:

1. CONTRACTOR SHALL NOT COMMENCE DEMOLITION UNTIL THE CONTRACTOR RECEIVES DEMOLITION PERMITS.
2. DEMOLISH INDICATED STRUCTURES AND APPURTENANCES IN AN ORDERLY AND CAREFUL MANNER.
3. REMOVE DEMOLISHED MATERIALS FROM SITE AS WORK PROGRESSES.
4. DISCONNECT, CAP, AND/OR REMOVE EXISTING UTILITIES IN ACCORDANCE WITH EACH UTILITY COMPANY'S PROCEDURES AND CITY OF SANTA BARBARA BUILDING CODES.
5. COMPLY WITH ANSI A10.6 "SAFETY CONDITIONS FOR DEMOLITION" PUBLISHED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE.
6. CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH SURROUNDING AREAS.
7. PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES AS REQUIRED BY CODE.
8. CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE THOROUGHFARES. MAINTAIN PROTECTED INGRESS AND EGRESS AT ALL TIMES. DO NOT CLOSE OR OBSTRUCT ROADWAYS OR SIDEWALKS WITHOUT PERMITS.
9. CONDITIONS AT THE JOB SITE SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO DEMOLITION.
10. CONTRACTOR TO IDENTIFY THE LOCATION OF DISCONNECTED OR CAPPED UNDERGROUND UTILITIES.
11. ELECTRIC OR GAS LINE CUTTING SHALL NOT BE DONE ON SITE WITHOUT A WRITTEN PERMIT ISSUED BY THE CITY FIRE MARSHALL.
12. REMOVE THE DEMOLISHED MATERIAL FROM THE SITE IN A LEGAL MANNER.
13. BURNING OF MATERIAL AND/OR USE OF EXPLOSIVES ARE NOT PERMITTED ONSITE.

DEMOLITION PERMIT

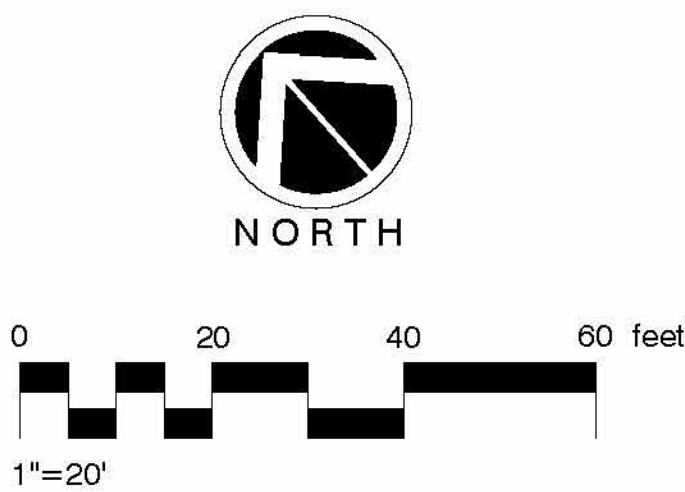
A DEMO PERMIT (BLD2019-06187) WAS ISSUED ON JUNE 17, 2019 TO REMOVE UNPERMITTED STORAGE AREAS, SHEDS, COVERED AREAS, WATER/ELECTRICAL CONNECTIONS TO REMEDY THE VIOLATIONS NOTED IN THE CITY BUILDING & SAFETY NOTICE OF VIOLATION LETTER DATED 2/1/18, AND DEMOLISH THE EXISTING 3,433 SQUARE-FOOT SINGLE STORY LIGHT INDUSTRIAL/OFFICE BUILDING AND ONSITE TREES, WITH EXCEPTION OF STREET AND FRONT SETBACK TREES.

CONSTRUCTION NOTES:

- 1 REMOVE EXISTING PERMANENT STRUCTURE.
- 2 REMOVE EXISTING STORAGE CONTAINER.
- 3 REMOVE EXISTING TREE.

LEGEND

	PROPERTY LINE
	EXISTING CHAIN LINK FENCE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING STORM SEWER LINE



rrm design group
rmdesign.com | (805) 963-0283
18 South Harbor Street, Suite 200
Santa Barbara, CA 93101



DESIGN
DEVELOPMENT
(NOT FOR
CONSTRUCTION)



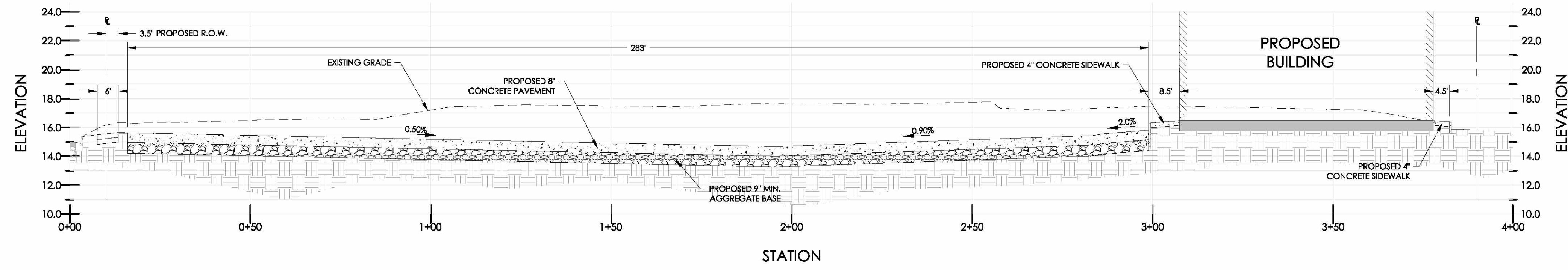
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93100-0002
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E-MAIL: rjcdesign@rjc-inc.com



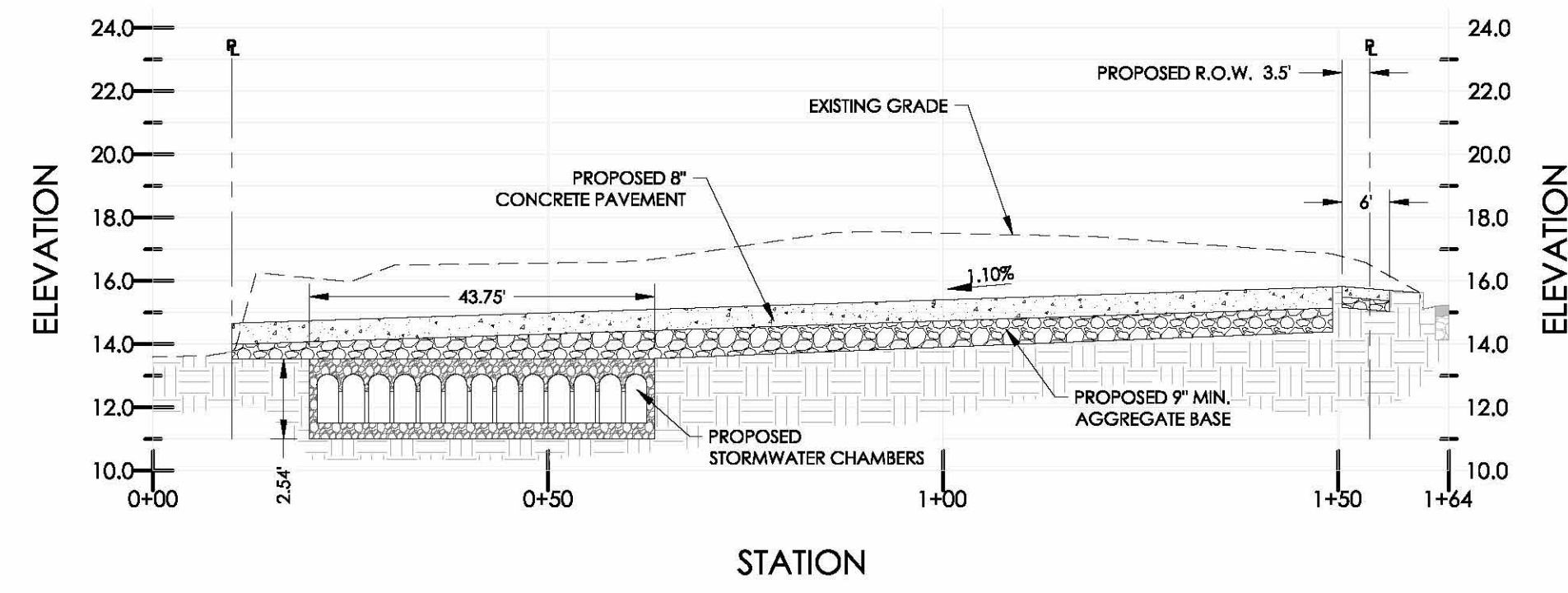
MARBORG
2' SOUTH QUARANTINA STREET
Santa Barbara, CA
93103

MARBORG
INDUSTRIAL DEVELOPMENT

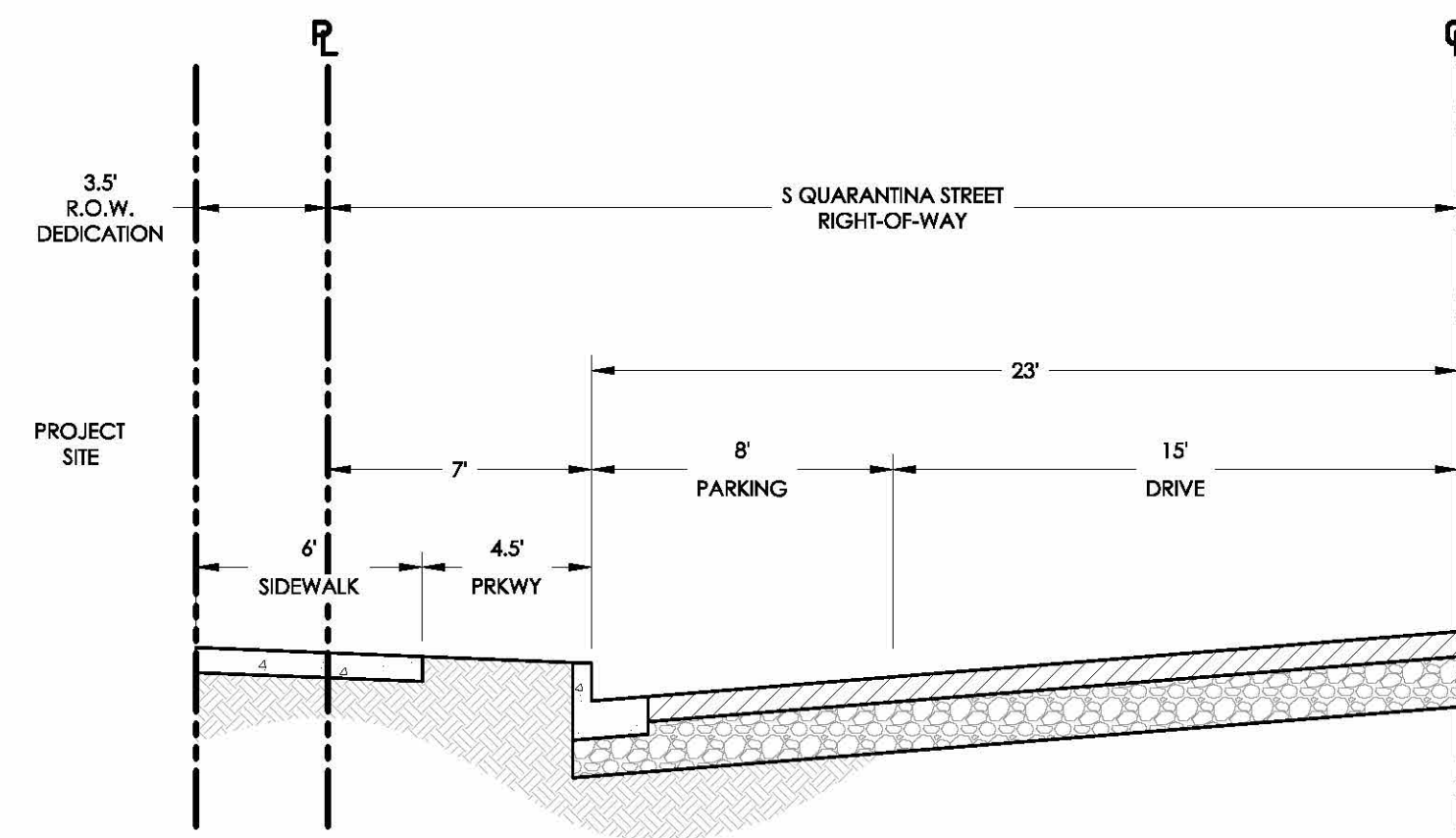
C1.0 DEMOLITION PLAN
Scale: as noted
Project: MARBORG QUARANTINA
Revisions:
Date: 10/08/2020
Drawn by: NIB
RJC File Number: 2019.16



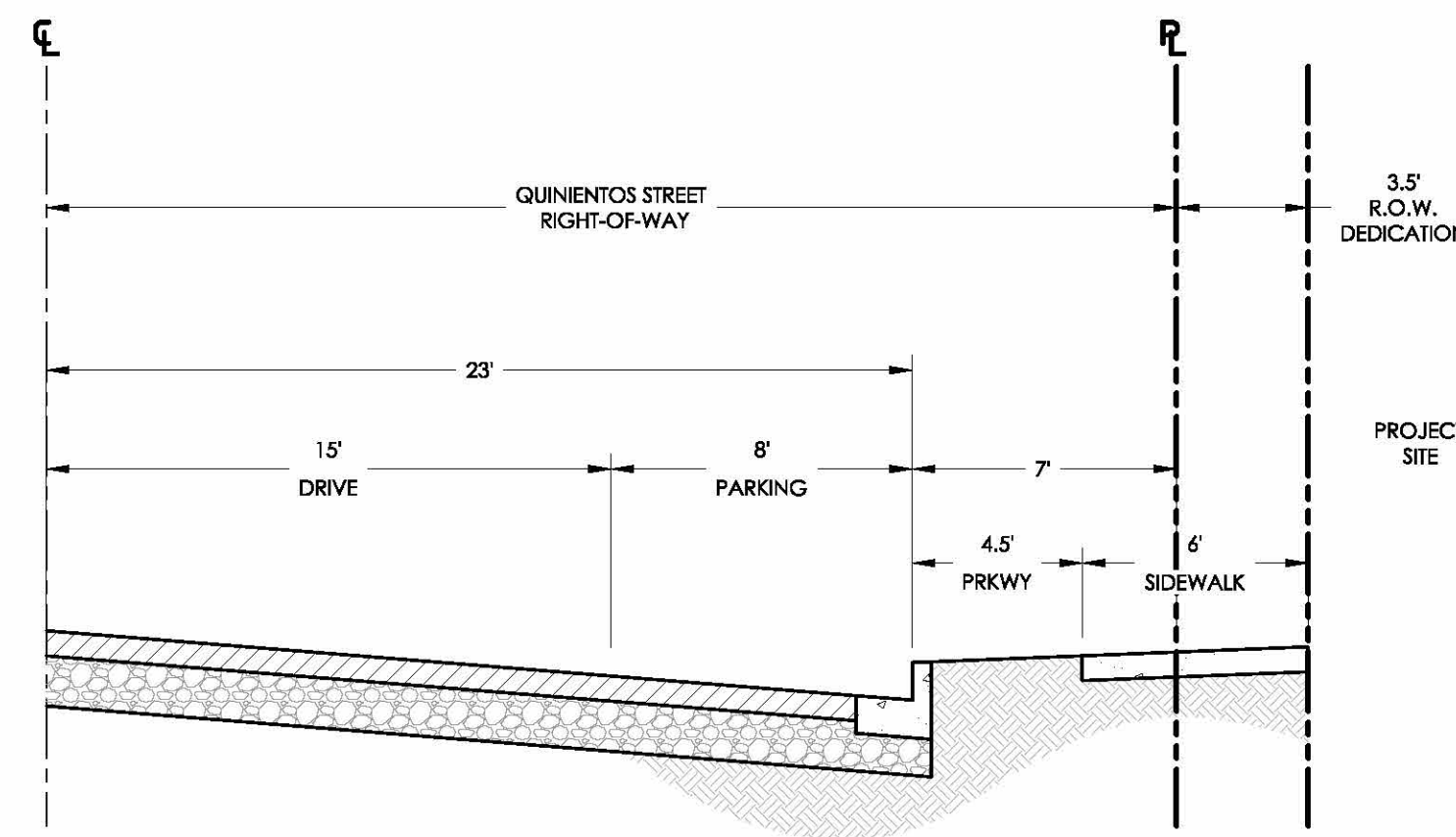
A SITE SECTION A-A
SCALE: H:1"=20' V:1"=5'



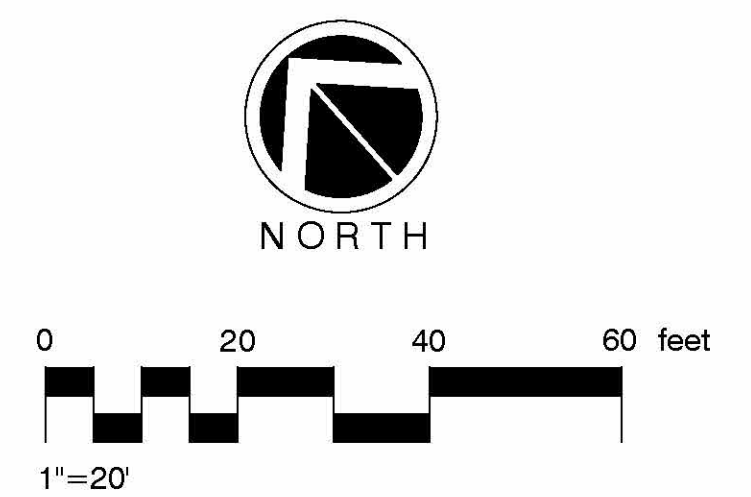
B SITE SECTION B-B
SCALE: H:1"=20' V:1"=5'

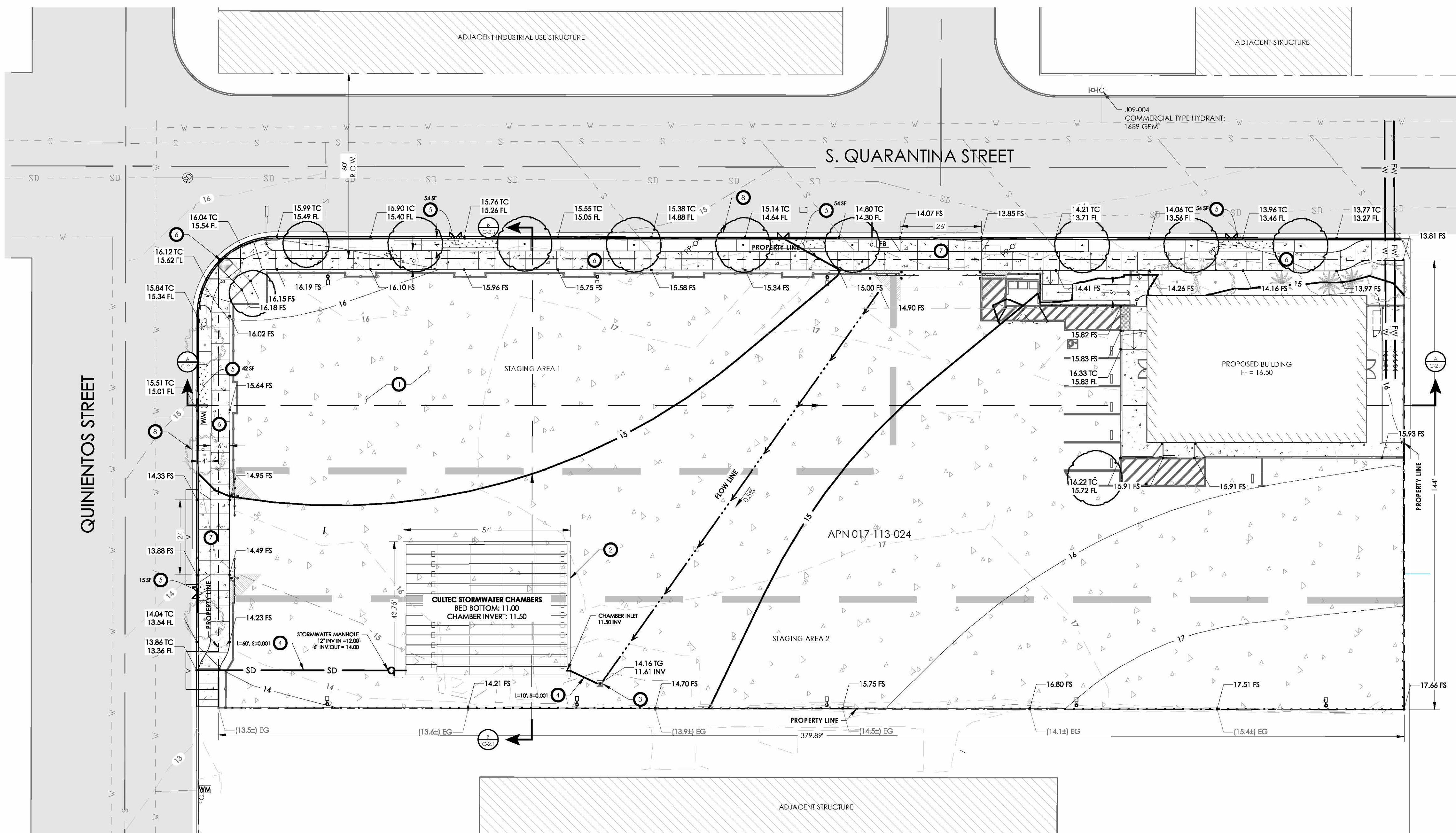


PROPOSED S QUARANTINA STREET SECTION
SCALE: 1"=5'



PROPOSED QUINIENTOS STREET SECTION
SCALE: 1"=5'





GRADING NOTE:

1. CONSTRUCT 8" THICK CONCRETE OVER 9" AGGREGATE BASE PER DETAIL 'C', THIS SHEET.
2. PROPOSED UNDERGROUND STORMWATER CHAMBERS PER DETAIL 'A', THIS SHEET.
3. PROPOSED STORM DRAIN CATCH BASIN.
4. PROPOSED 6" STORM DRAIN AT 1.0% MINIMUM SLOPE.
5. PROPOSED PARKWAY BIO-RETENTION PER DETAIL 'B', THIS SHEET.
6. PROPOSED ACCESSIBLE CURB RAMP PER CITY STANDARD H-07.3.
7. PROPOSED CONCRETE SIDEWALK.
8. PROPOSED COMMERCIAL DRIVEWAY.
9. 6" CURB AND 18" GUTTER. REPLACE AS NECESSARY.

LEGEND

---	PROPERTY BOUNDARY LINE
---	ROADWAY CENTERLINE
---	PROPOSED FLOW LINE
---	EXISTING WATER LINE
---	EXISTING SEWER LINE
---	EXISTING STORM DRAIN
---	PROPOSED WATER LINE
---	PROPOSED FIRE WATER LINE
---	PROPOSED STORM DRAIN
---	PROPOSED CONCRETE PAVEMENT
---	PROPOSED CONCRETE SIDEWALK
---	EXISTING A.C. PAVEMENT
---	EXISTING CONTOUR MAJOR
---	EXISTING CONTOUR MINOR
---	PROPOSED CONTOUR MAJOR
---	PROPOSED CONTOUR MINOR
---	EXISTING GRADE
---	PROPOSED GRADE
X	DETAIL NUMBER
X-X	DETAIL SHEET

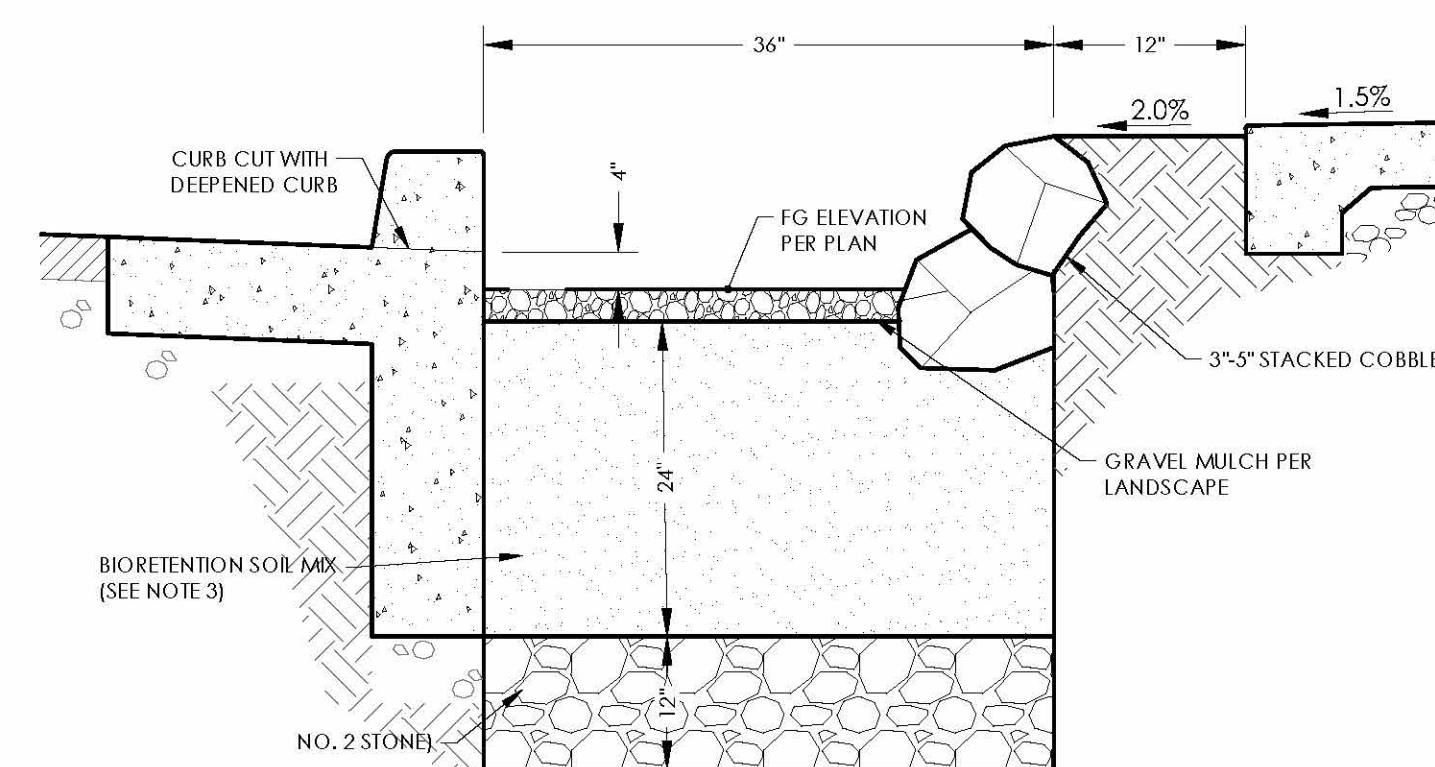
EARTH QUANTITIES

AREA OF DISTURBANCE 1.26 AC±

CUT OUTSIDE BUILDING:	2,100 CY	CUT UNDER BUILDING:	150 CY
FILL OUTSIDE BUILDING:	70 CY	FILL UNDER BUILDING:	0 CY
IMPORT/EXPORT:	0 CY / 2,180 CY		

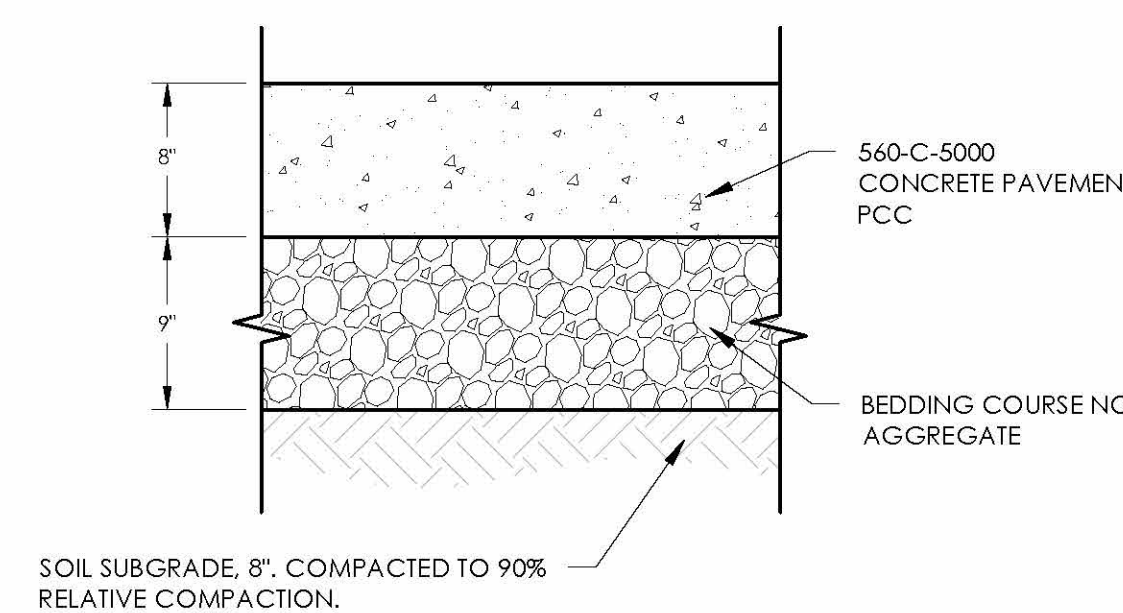
QUANTITY ESTIMATES ON THESE PLANS ARE TO BE USED FOR PERMIT PURPOSES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ACTUAL QUANTITIES FOR THE PURPOSE OF CONSTRUCTION.

THE RAW EARTHWORK QUANTITIES SHOWN HEREON REPRESENT THE ESTIMATED VOLUMETRIC DIFFERENCE BETWEEN THE PROPOSED ROUGH GRADE AND THE LIMITED TOPOGRAPHIC EXISTING GRADES. THESE ESTIMATES DO NOT MAKE CONSIDERATIONS FOR LOSSES OR BULKING DUE TO: SHRINKAGE, SOIL AMENDMENTS, STABILIZATION, CONSTRUCTION TECHNIQUE, FOOTING & TRENCHING SPOILS, ETC. THESE, IN ADDITION TO ACTUAL FIELD CONDITIONS, CONSTRUCTION TECHNIQUE AND THE FINAL RECOMMENDATIONS OF THE SOILS ENGINEER MAY SIGNIFICANTLY EFFECT THE FINAL IMPORT/EXPORT QUANTITIES.



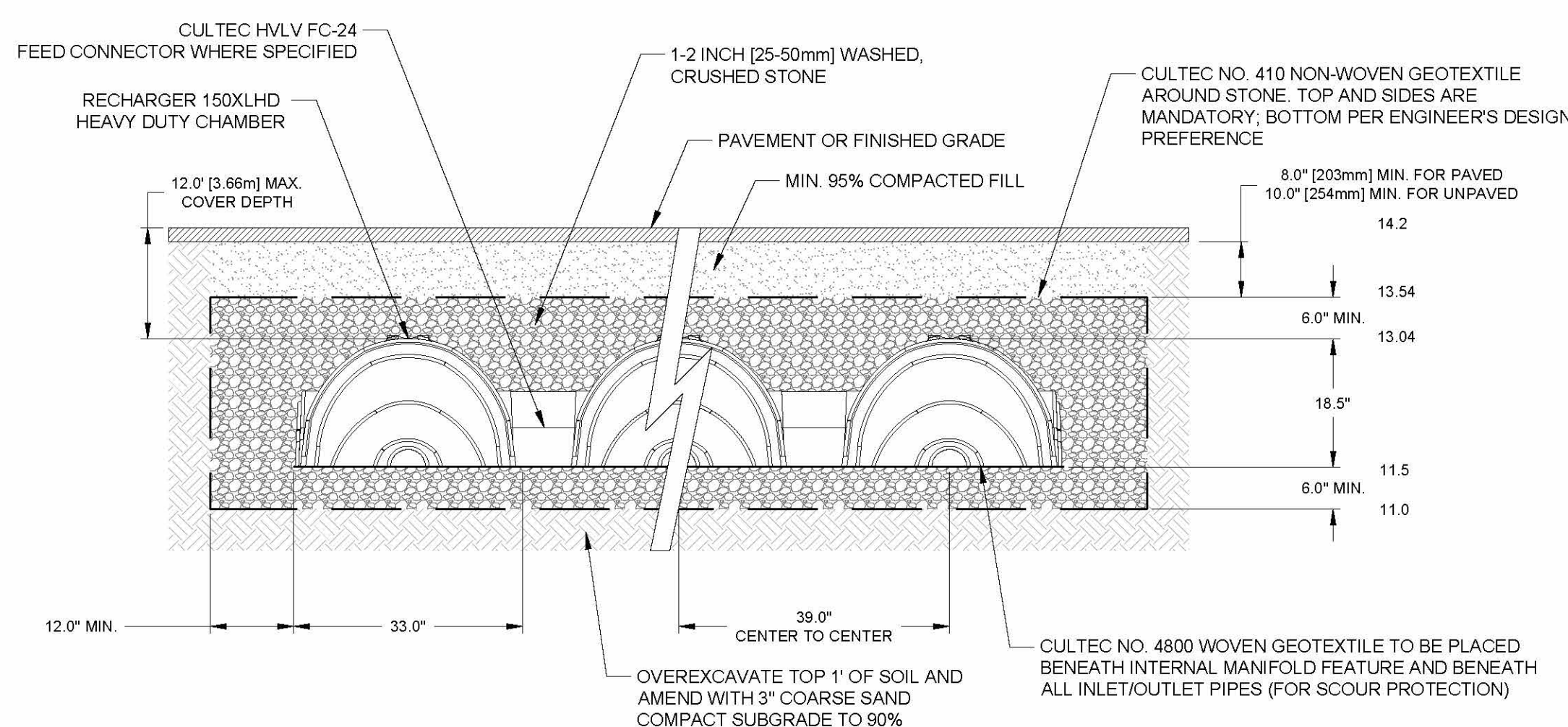
- NOTES:
1. OVER-EXCAVATE 1'0" BELOW INFILTRATION BOTTOM AND REPLACED UNIFORMITY WITHOUT COMPACTION.
 2. ALL STONE MATERIAL SHALL BE WASHED, OPEN-GRADED (NO SAND), CRUSHED (ANGULAR) AGGREGATE.
 3. BIORETENTION SOIL MIX SHALL BE 40 TO 70% SAND, 15 TO 25% COMPOST AND 10 TO 20% CLEAN TOPSOIL. THE ORGANIC CONTENT SHALL BE 8 TO 12% AND PH RANGE SHALL BE 5.5 TO 7.5.
 4. EXTEND DEEPEDED CURB DETAIL 3' BEYOND BOTH SIDES OF BIORETENTION AREA.

B PARKWAY BIORETENTION SECTION SCALE: N.T.S.

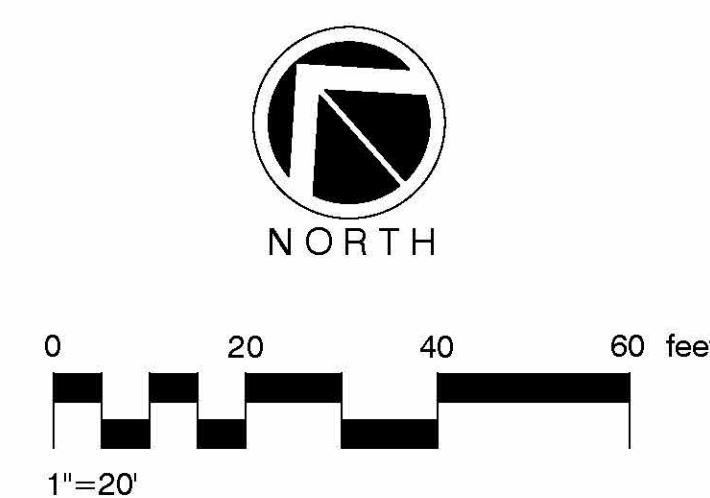


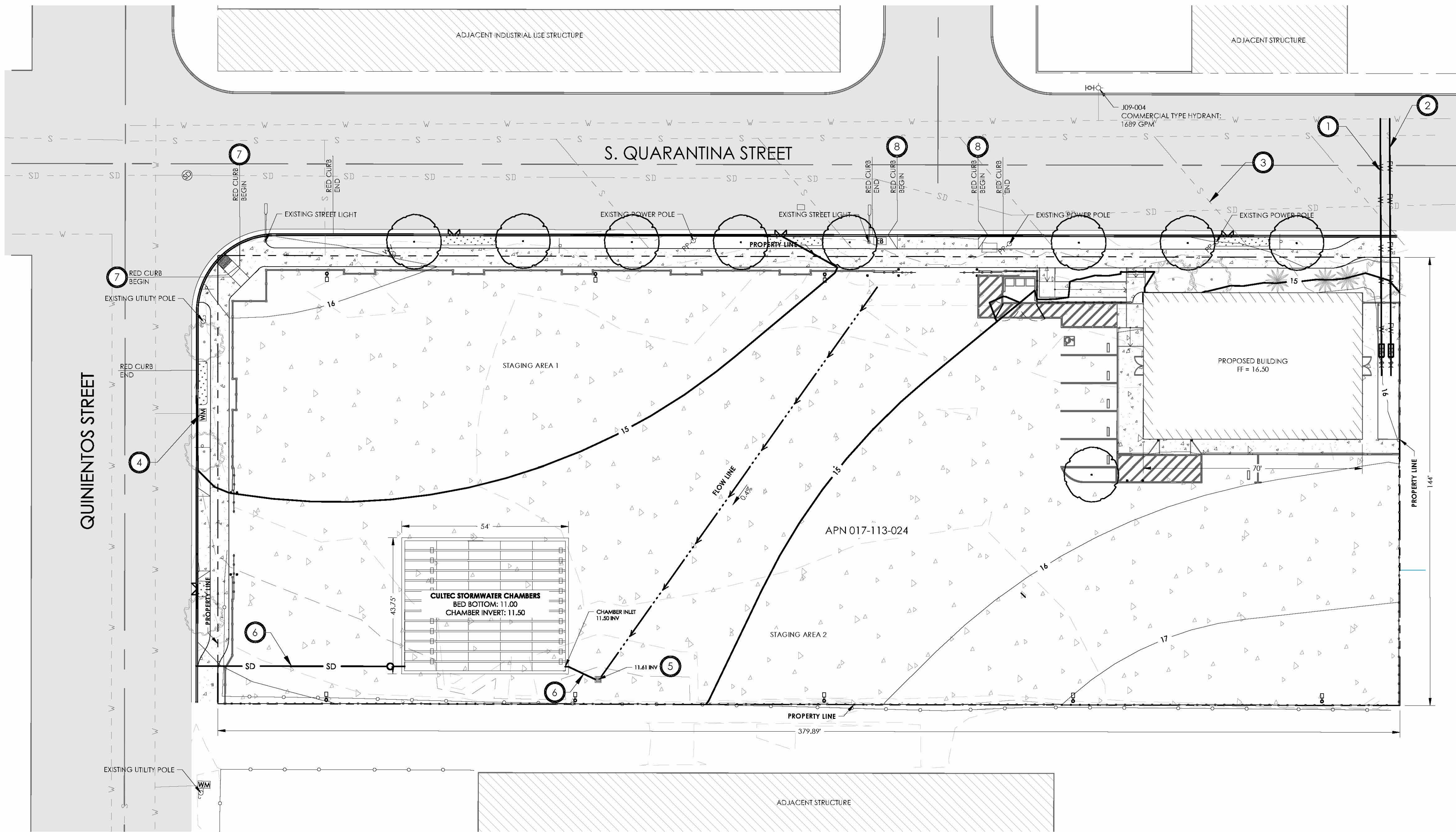
- NOTES:
1. STONE MATERIAL SHALL BE WASHED, OPEN-GRADED (NO SAND), CRUSHED (ANGULAR) AGGREGATE.

C PAVEMENT SECTION SCALE: N.T.S.



A CULTEC STORMWATER CHAMBERS SCALE: N.T.S.





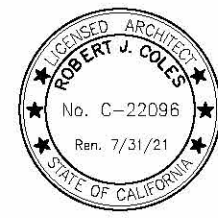
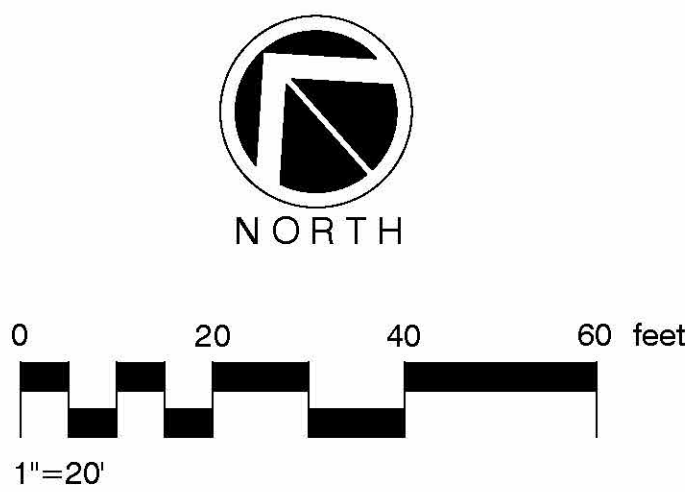
UTILITY NOTE:
ALL UTILITIES: POWER, TELEPHONES, CABLE TV, SERVING THE PROPOSED PROJECT (INCLUDING POLES LOCATED ON SUBJECT PROPERTIES), SHALL BE PLACED UNDERGROUND AS REQUIRED BY CITY OF SANTA BARBARA MUNICIPAL CODE CHAPTER 22.38.

CONSTRUCTION NOTES:

- 1 PROPOSED 3" DOMESTIC WATER CONNECTION WITH BACKFLOW
- 2 PROPOSED 6" FIRE WATER CONNECTION WITH BACKFLOW
- 3 PROTECT AND RE-USE EXISTING SEWER SERVICE
- 4 SALVAGE EXISTING 1" WATER METER FOR IRRIGATION
- 5 PROPOSED STORM DRAIN CATCH BASIN
- 6 PROPOSED 6" STORM DRAIN AT 1.0% MINIMUM SLOPE
- 7 PAINT 30 FEET OF RED CURB
- 8 PAINT 5 FEET OF RED CURB

LEGEND

	PROPERTY BOUNDARY LINE
	ROADWAY CENTERLINE
	PROPOSED FLOW LINE
	EXISTING WATER LINE
	EXISTING SEWER LINE
	EXISTING STORM DRAIN
	PROPOSED WATER LINE
	PROPOSED FIRE WATER LINE
	PROPOSED STORM DRAIN
	PROPOSED CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	EXISTING A.C. PAVEMENT
	EXISTING STORM DRAIN MANHOLE
	EXISTING WATER METER
	EXISTING UTILITY POLE
	EXISTING ELECTRIC BOX
	EXISTING POWER POLE



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SANTA BARBARA, CA 93100-0022
TEL: (805) 662-9177
FAX: (805) 566-3310
E-MAIL: rjcdesign@rjc-inc.com



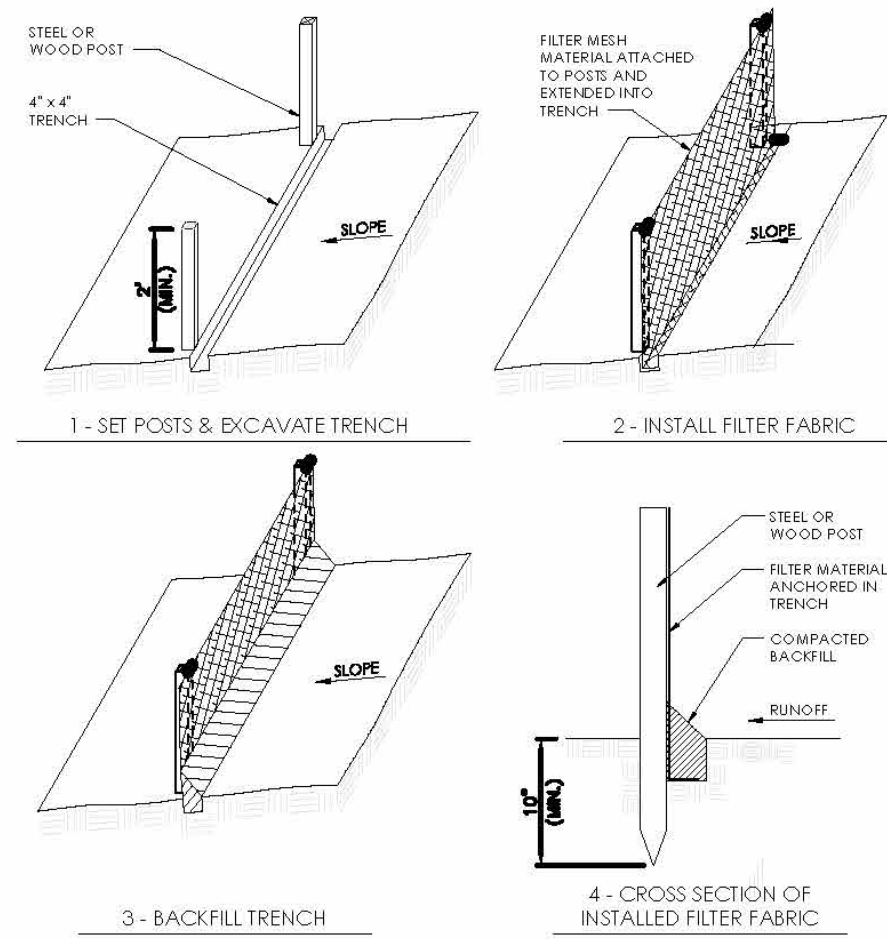
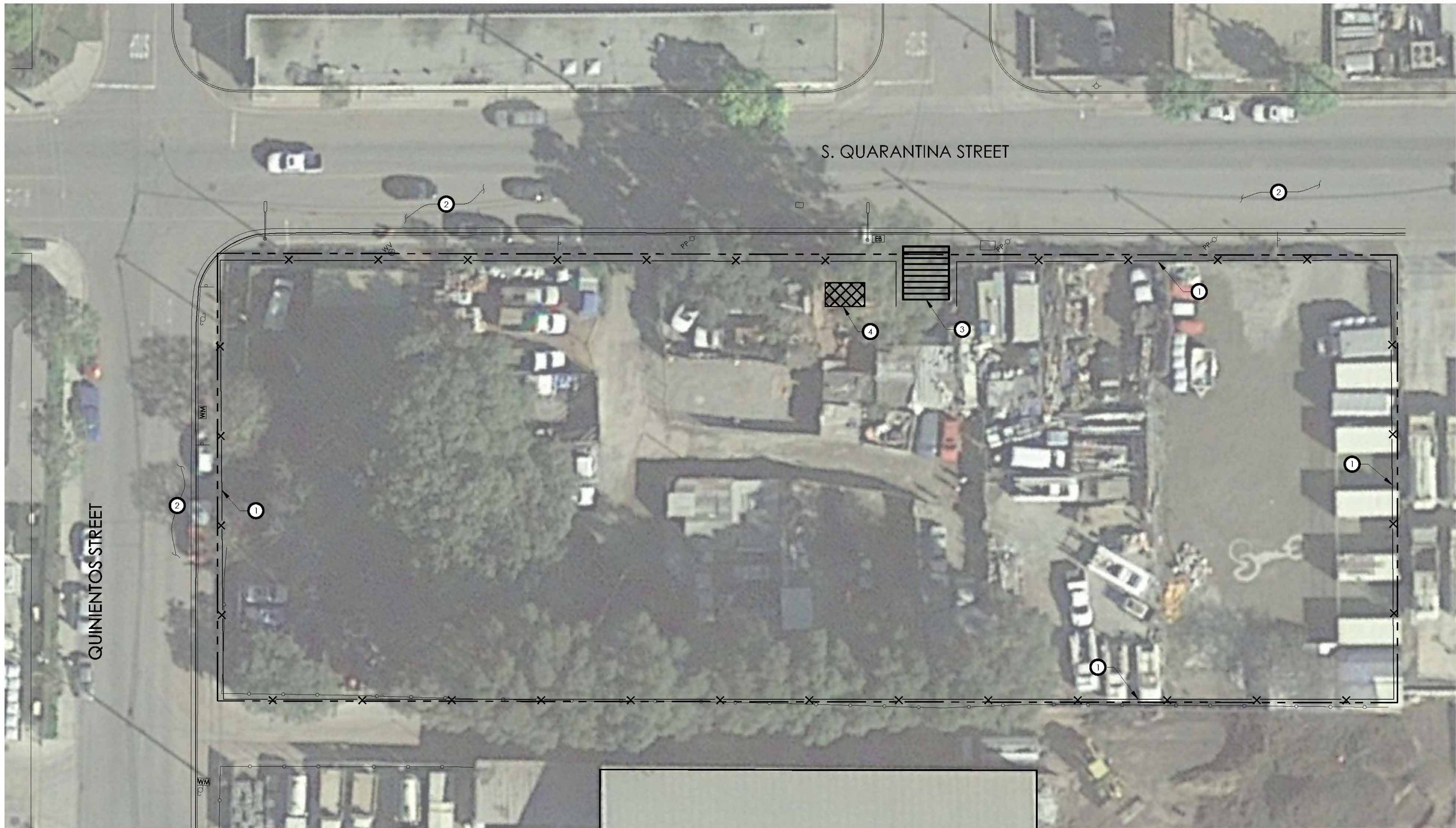
MARBORG
2' SOUTH QUARANTINA STREET
Santa Barbara, CA
93103

MARBORG
INDUSTRIAL DEVELOPMENT

Drawn by: JWR
RJC File Number: 2019.16

Revisions:

C3.0 **UTILITY PLAN**
Date: 10/06/2020
Project: MARBORG QUARANTINA



SILT FENCE INSTALLATION N.T.S.

SILT FENCE

CONSTRUCTION SPECIFICATIONS:

- THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (0.9 M). STORAGE HEIGHT AND PONDING HEIGHT SHALL NEVER EXCEED 18 INCHES (0.5 M).
- THE FENCE LINE SHALL FOLLOW THE CONTOUR AS CLOSELY AS POSSIBLE. IF POSSIBLE, THE FILTER FABRIC SHALL BE CUT FROM A CONTINUOUS ROLL TO AVOID THE USE OF JOINTS.
- JOINTS, WHEN NECESSARY, SHALL BE SPLICED ONLY AT A SUPPORT POST, WITH A MINIMUM 6 INCH (0.2 M) OVERLAP AND BOTH ENDS SECURELY FASTENED TO THE POST.
- POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3.1 M) APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES (0.3M)). WHEN EXTRA-STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
- TURN THE ENDS OF THE FENCE UPHILL.
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (101 MM) WIDE AND 6 INCHES (0.2 M) DEEP ALONG THE LINE OF POSTS AND UP-SLOPE FROM THE BARRIER.
- WHEN STANDARD-STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UP-SLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25.4 MM) LONG. THE WIRES OR HOG RINGS, THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (51MM) ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
- WHEN EXTRA-STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS.
- THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE TOE OF THE FILTER FABRIC.
- SILT FENCES PLACED AT THE TOE OF A SLOPE SHALL BE SET AT LEAST 6 FEET (1.8 M) FROM THE TOE IN ORDER TO INCREASE PONDING VOLUME.
- SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED AND ANY SEDIMENT STORED BEHIND THE SILT FENCE HAS BEEN REMOVED.

INSPECTION AND MAINTENANCE:

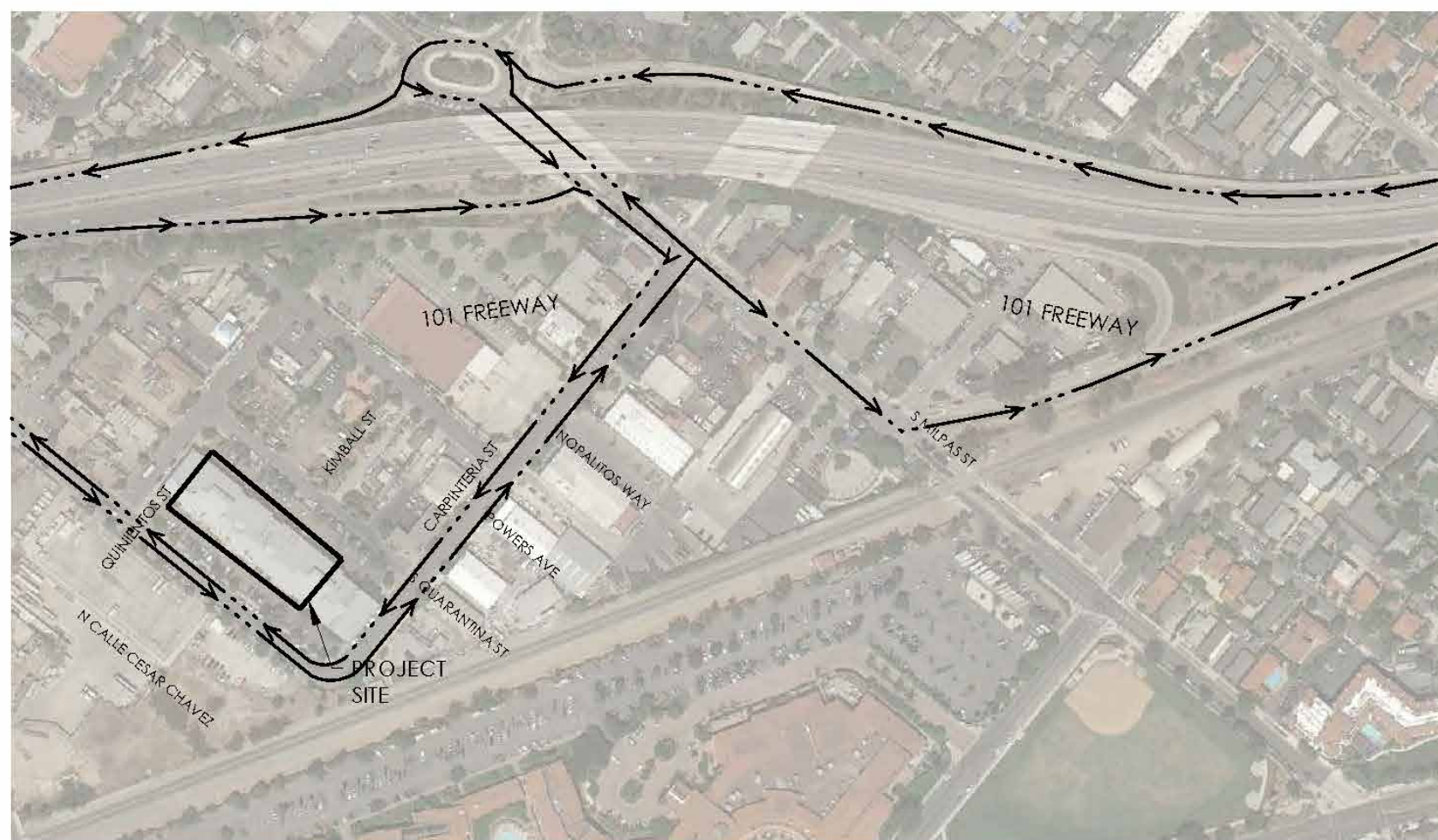
- SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED WEEKLY AFTER EACH SIGNIFICANT STORM (1 INCH (25.4 MM) IN 24 HOURS). ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- SEDIMENT SHOULD BE REMOVED WHEN IT REACHES 1/2 HEIGHT OF THE FENCE OR 9 INCHES (0.3 M) MAXIMUM.
- THE REMOVED SEDIMENT SHALL CONFORM WITH THE EXISTING GRADE AND BE VEGETATED OR OTHERWISE STABILIZED.

STORM WATER POLLUTION PREVENTION BMP'S

BMP*	NAME	SYMBOL
①	SE-1 SILT FENCE	— x — x —
②	SE-7 STREET SWEEPING & VACUUMING	~
③	TC-1 STABILIZED CONSTRUCTION ENTRANCE	
④	WM-1 MATERIAL DELIVERY & STORAGE AREA CONSTRUCTION STAGING AREA	XXXXX

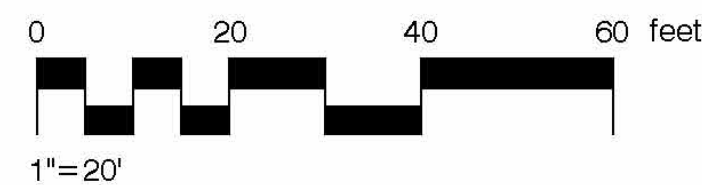
* REFERS TO BMP DESIGNATION GIVEN IN THE CASQA
STORMWATER BEST MANAGEMENT PRACTICE
CONSTRUCTION HANDBOOK. SEE HANDBOOK FOR BMP

DETAILS AND IMPLEMENTATION STRATEGIES.



CONSTRUCTION HAUL/DELIVERY ROUTE

SCALE: N.T.S.

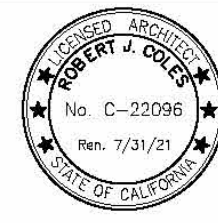


CONTRACTOR'S NOTES:

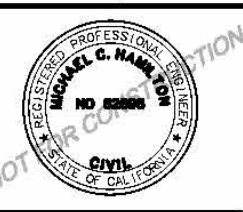
- CONTRACTOR SHALL PREVENT WATER CONTAMINATION DURING CONSTRUCTION BY IMPLEMENTING THE FOLLOWING CONSTRUCTION SITE MEASURES:
 - ALL ENTRANCES/EXITS TO THE CONSTRUCTION SITE SHALL BE STABILIZED USING METHODS DESIGNED TO REDUCE TRANSPORT OF SEDIMENT OFF SITE.
 - STABILIZING MEASURES MAY INCLUDE BUT ARE NOT LIMITED TO USE OF GRAVEL PADS, STEEL RUMBLE PLATES, TEMPORARY PAVING, ETC.
 - ANY SEDIMENT OR OTHER MATERIALS TRACKED OFF SITE SHALL BE REMOVED THE SAME DAY AS THEY ARE TRACKED USING DRY CLEANING METHODS.
 - ENTRANCES/EXITS SHALL BE MAINTAINED UNTIL GRADED AREAS HAVE BEEN STABILIZED BY STRUCTURES, LONG-TERM EROSION CONTROL MEASURES OR LANDSCAPING.
 - APPLY CONCRETE, ASPHALT, AND SEAL COAT ONLY DURING DRY WEATHER.
 - COVER STORM DRAINS AND MANHOLES WITHIN THE CONSTRUCTION AREA WHEN PAVING OR APPLYING SEAL COAT, SLURRY, FOG SEAL, ETC.
 - STORE, HANDLE AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTE SUCH AS PAINT, MORTAR, CONCRETE SLURRY, FUELS, ETC. IN A MANNER WHICH MINIMIZES THE POTENTIAL FOR STORM WATER CONTAMINATION.
- WITHIN 30 DAYS OF COMPLETION OF GRADING ACTIVITIES, CONTRACTOR SHALL USE HYDRO-SEED, STRAW BLANKETS, GEOTEXTILE BINDING FABRICS OR OTHER P&D APPROVED METHODS AS NECESSARY TO HOLD SLOPE SOILS UNTIL LANDSCAPE VEGETATION IS ESTABLISHED. P&D MAY REQUIRE THE RESEEDING OF SURFACES GRADED FOR THE PLACEMENT OF STRUCTURES IF CONSTRUCTION DOES NOT COMMENCE WITHIN 30 DAYS OF GRADING.
- CONTRACTOR SHALL DESIGNATE A CONSTRUCTION EQUIPMENT FILLING AND STORAGE AREA(S) TO CONTAIN SPILLS, FACILITATE CLEAN-UP AND PROPER DISPOSAL AND PREVENT CONTAMINATION FROM DISCHARGING TO THE STORM DRAINS, STREET, DRAINAGE DITCHES, CREEKS, OR WETLANDS. THE AREAS SHALL BE NO LARGER THAN 50 X 50 FOOT UNLESS OTHERWISE APPROVED BY P&D AND SHALL BE LOCATED AT LEAST 100 FEET FROM ANY STORM DRAIN, WATER BODY OR SENSITIVE BIOLOGICAL RESOURCES.
- GRADING AND EROSION AND SEDIMENT CONTROL PLANS SHALL BE DESIGNED TO MINIMIZE EROSION DURING CONSTRUCTION AND SHALL BE IMPLEMENTED FOR THE DURATION OF THE GRADING PERIOD AND UNTIL RE-GRADED AREAS HAVE BEEN STABILIZED BY STRUCTURES, LONG-TERM EROSION CONTROL MEASURES OR PERMANENT LANDSCAPING.
- THESE MEASURES ARE REQUIRED FOR ALL PROJECTS INVOLVING EARTHMOVING ACTIVITIES REGARDLESS OF THE PROJECT SIZE OR DURATION. PROPER IMPLEMENTATION OF THESE MEASURES IS ASSUMED TO FULLY MITIGATE FUGITIVE DUST EMISSIONS. DURING CONSTRUCTION, USE WATER TRUCKS OR SPRINKLER SYSTEMS TO KEEP ALL AREAS OF VEHICLE MOVEMENT DAMP ENOUGH TO PREVENT DUST FROM LEAVING THE SITE. AT A MINIMUM, THIS SHOULD INCLUDE WETTING DOWN SUCH AREAS IN THE LATE MORNING AND AFTER WORK IS COMPLETED FOR THE DAY. INCREASED WATERING FREQUENCY SHOULD BE REQUIRED WHENEVER THE WIND SPEED EXCEEDS 15 MPH. RECLAIMED WATER SHOULD BE USED WHENEVER POSSIBLE. HOWEVER, RECLAIMED WATER SHOULD NOT BE USED IN OR AROUND CROPS FOR HUMAN CONSUMPTION. MINIMIZE AMOUNT OF DISTURBED AREA AND REDUCE ON SITE VEHICLE SPEEDS TO 15 MPH OR LESS. IF IMPORTATION, EXPORTATION AND STOCKPILING OF FILL MATERIAL IS INVOLVED, SOIL STOCKPILED FOR MORE THAN TWO DAYS SHALL BE COVERED, KEPT MOIST, OR TREATED WITH SOIL BINDERS TO PREVENT DUST GENERATION. TRUCKS TRANSPORTING FILL MATERIAL TO AND FROM THE SITE SHALL BE TARPED FROM THE POINT OF ORIGIN. GRAVEL PADS SHALL BE INSTALLED AT ALL ACCESS POINTS TO PREVENT TRACKING OF MUD ONTO PUBLIC ROADS. AFTER CLEARING, GRADING, EARTH MOVING OR EXCAVATION IS COMPLETED, TREAT THE DISTURBED AREA BY WATERING, OR REVEGETATING, OR BY SPREADING SOIL BINDERS UNTIL THE AREA IS PAVED OR OTHERWISE DEVELOPED SO THAT DUST GENERATION WILL NOT OCCUR.
- THE CONTRACTOR OR BUILDER SHALL DESIGNATE A PERSON OR PERSONS TO MONITOR THE DUST CONTROL PROGRAM AND TO ORDER INCREASED WATERING, AS NECESSARY, TO PREVENT TRANSPORT OF DUST OFFSITE. THEIR DUTIES SHALL INCLUDE HOLIDAY AND WEEKEND PERIODS WHEN WORK MAY NOT BE IN PROGRESS. THE NAME AND TELEPHONE NUMBER OF SUCH PERSONS SHALL BE PROVIDED TO THE AIR POLLUTION CONTROL DISTRICT PRIOR TO LAND USE CLEARANCE FOR MAP RECORDATION AND LAND USE CLEARANCE FOR FINISH GRADING OF THE STRUCTURE.

SITE SPECIFIC EROSION CONTROL NOTES:

- PERIMETER CONTROL BMP'S AND STABILIZED CONSTRUCTION ENTRANCES SHALL BE IN PLACE PRIOR TO ANY GROUND DISTURBANCE.
- THESE PLANS ARE INTENDED TO REPRESENT DIFFERENT PHASES DURING CONSTRUCTION. THE CONTRACTOR SHALL IMPLEMENT THE BMP'S SHOWN AND/OR ANY OTHER MEASURES NECESSARY DURING CONSTRUCTION TO BE IN COMPLIANCE WITH THE GENERAL PERMIT. IMPLEMENTATION OF THE BMP'S SHOWN ON THESE PLANS DO NOT RELIEVE THE OWNER OR HIS/HER REPRESENTATIVE FROM RESPONSIBILITY OF IMPLEMENTING ALL MEASURES NEEDED TO BE IN COMPLIANCE.
- THE CONTRACTOR SHALL USE CLASS II BASE FOR THE STABILIZED CONSTRUCTION ROADWAY OR ALTERNATE METHODS THAT ACHIEVE THE DESIRED RESULTS. THIS BMP SHALL BE IMPLEMENTED TO ALL BUILDING PADS PRIOR TO VERTICAL CONSTRUCTION, OR AS SOON AS PRACTICAL.
- THE CONTRACTOR MAY UTILIZE RUMBLE PLATES IN LIEU OF RIP RAP AT THE CONSTRUCTION ENTRANCES AS LONG AS THEY ACCOMPLISH THE DESIRED RESULTS.
- ANY SEDIMENTS TRACKED OFFSITE SHALL BE CLEANED DAILY BY MEANS OF MOBILE STREET SWEEPERS.
- ANY GRADED AREAS THAT ARE GOING TO SIT IDLE FOR MORE THAN TWO WEEKS, SHALL HAVE AN APPROPRIATE GROUND COVER BMP APPLIED.
- THE LOCATIONS SHOWN FOR THE EQUIPMENT AND MATERIAL DELIVERY STORAGE AREAS AND CONCRETE WASTE CLEANOUT MAY BE RELOCATED DURING CONSTRUCTION.



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DESIGN
DEVELOPMENT
(NOT FOR
CONSTRUCTION)



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Email: rjc@rjc-inc.com



MARBORG

2 SOUTH QUARANTINA STREET
Santa Barbara, CA 93103

MARBORG
INDUSTRIAL DEVELOPMENT

EROSION CONTROL PLAN

Scale: as SHD Date: 10/06/2020 Revisions:
Project: MARBORG QUARANTINA
Drawn by: NIB
RJC File Number: 201916

C4.0



City of Santa Barbara

Community Development Department

SantaBarbaraCA.gov

Building & Safety Division

Notice of Violation

Director's Office
Tel: (805) 564-5502
Fax: (805) 564-5477

February 1, 2018

Administration, Housing
& Human Services
Tel: (805) 564-5461
Fax: (805) 564-5477

Pride of Ownership Property LLC
P.O. Box 1058
Summerland, CA 93067
APN: 017-113-024
Case Number: ENF2017-01218

Building & Safety
Tel: (805) 564-5485
Fax: (805) 564-5476

Subject Property: 2 S. Quarintina St. Santa Barbara, CA 93101

Dear Pride of Ownership Property LLC:

Planning
Tel: (805) 564-5470
Fax: (805) 564-5477

Due to a recent concern filed with the Building & Safety Division, an inspection at the Subject Property was performed on November 30, 2017 and January 23, 2018. As a result of our investigation, we have found the Property to be in violation of Santa Barbara Municipal Code Section 22.04.010 as follows:

Rental Housing
Mediation Program
Tel: (805) 564-5420
Fax: (805) 564-5477

BUILDING VIOLATIONS:

VIOLATION: This property has been divided into 17+ outdoor storage areas using chain-link fencing and green privacy screening. Each outdoor area has various sheds, storage building or covered areas for protection of storage. These structures have been constructed without approvals or permit. Many of these structures have been provided with electricity and water without permit.

CODE SECTION: 2016 California Building Code, Section 105.1 PERMITS
Any owner, or authorized agent who intends to construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert or replace any electrical, gas mechanical or plumbing system, the installation of which is regulated by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit.

REMEDY: A building permit will be required to either demolish or legalize the structures and utilities on this property. Bring this Notice to the Building Permit Counter at 630 Garden Street and ask for an explanation of the plan submittal that will be required for permit application and issuance. Be aware that permit issuance must be obtained by the dates prescribed in this Notice. If permits are not obtained within the prescribed time frames, you will be ordered to obtain a demolition permit immediately.

VIOLATION: The only legal structure on the property is the office building on the corner of S. Quarintina and S. Quinientos. The building has been divided into 10 different units and the bathrooms appear to have been remodeled. There are now

Page 1 of 11

4. Coastal Development Permit Application: Submit an application for a Coastal Development Permit (Attachment E). This is submitted concurrently with the DART application.

The Building Official has determined that the violations on the Property must be abated in an expeditious manner.

- A permit must be obtained and work commenced within 60 days of the date of this Notice of Violation.
- Work must be completed and all violations abated within 60 days of the date of permit issuance.

If either of these dates are not met, further legal action may be necessary.

This Notice of Violation identifies the concerns of the Building and Safety Division of the City of Santa Barbara. Other departments or divisions of this City and other governmental agencies may have additional concerns or requirements.

Tax Implications

Pursuant to California Revenue and Taxation Code sections 17274 and 24436.5, the City may forward information regarding you and any other owners of the above-referenced property to the State Franchise Tax Board for violations of State and City laws related to health, safety, and building if the above listed property constitutes substandard housing. This action will prevent you, any other owners, or subsequent owners from deducting interest, taxes, depreciation, or amortization for the above-referenced property on state income taxes. In order to prevent this, you must immediately comply with all State and City laws to abate all violations.

Appeal Rights

Any party aggrieved by this decision of the City's Chief Building Official including but not limited to decisions or determinations made relative to the application and interpretations of the technical codes, and the refusal, suspension, voiding, or revocation of a license or permit, may appeal such decision to the Building and Fire Code Board of Appeals by obtaining an appeal form on the internet at <http://www.santabarbaraca.gov/services/planning/forms/building.asp> or from the City Building & Safety office. You are required to submit the appeal form within ten (10) days from the date of this notice in order for your appeal to be heard by the Building and Fire Code Board of Appeals. The completed appeal form must be delivered to the City's Building & Safety office located at 630 Garden St., Santa Barbara, CA 93101.

For information regarding the appeals process, please refer to Santa Barbara Municipal Code Section 22.04.020 or contact the Community Development Department at (805)

Page 4 of 11

two electrical panels on this structure. A main meter panel and a subpanel supplying electrical to other illegal, unpermitted structures on the property. An attached shed has been attached to the rear of this structure. All work has been done illegally and without approvals or permit.

CODE SECTION: 2016 California Building Code, Section 105.1 PERMITS
Any owner, or authorized agent who intends to construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert or replace any electrical, gas mechanical or plumbing system, the installation of which is regulated by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit.

REMEDY: A building permit will be required to either demolish or legalize the changes to this structure. 2016 California Building Code, Section 105.1 PERMITS
Any owner, or authorized agent who intends to construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert or replace any electrical, gas mechanical or plumbing system, the installation of which is regulated by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit.

ZONING VIOLATIONS (including Code Sections):

The last Certificate of Occupancy issued for 2 S. Quarantina Street was for a temporary storage facility for impounded vehicles for Love's Towing Inc (BLD98-01287/MST98-00222). Attachment A, is the file documentation for the last permitted use of the property. City archive plans indicate the last approved use of the commercial building onsite was an office/shop use as documented on a floor plan dated February 22, 1980. The permitted uses of the property are no longer in operation. Please see the following zoning violations along with the applicable code sections below that are applicable to ALL current uses on this property:

28.97.001 In General (Occupancy)

No vacant land shall be occupied or used, and no building hereafter erected, structurally altered or moved shall be occupied or used, until a Certificate of Occupancy shall have been issued by the Chief of Building and Zoning.

28.44.060 Permit Required

In addition to any other permits or approvals required by the City, a Coastal Development Permit shall be required prior to commencement of any development in the coastal zone of the City, unless the development involves emergency work subject to the provisions of Section 28.44.100 or the development is subject to one of the exclusions or exemptions specified in Section 28.44.070 (ord. 5417, 2007.).

28.90.001 In General (Automobile Parking Requirements)

Page 2 of 11

564-5502. For information on Building and Fire Code Board of Appeals the please visit the following website <http://www.santabarbaraca.gov/gov/bdcomm/ac/bfcb/default.asp>

☐ Tenant Relocation Required (Residential Uses Only)

Only when the above box is checked, pursuant to Health and Safety Code section 17975, you are hereby notified as the owner of the subject property that any tenant on the subject property who is displaced or subject to displacement from a residential rental unit at the subject property as a result of this order requiring the vacation of a residential unit by the City of Santa Barbara Building & Safety Department as a result of the violation(s) noted above being so extensive and of such a nature that the immediate health and safety of the residents is endangered, that the tenant(s) shall be entitled to receive relocation benefits from you, the property owner.

Pursuant to Health and Safety Code section 17975.1, the relocation benefits shall be paid by you, the owner or designated agent, to the tenant within 10 days after the date of this notice to vacate which has been posted on the premises, or at least 20 days prior to the vacation date set forth in this notice to vacate, whichever occurs later. If there are fewer than 10 days between the date of this notice to vacate and the vacation date, the relocation benefits shall be paid by you, the owner or designated agent, to the tenant within 24 hours of the date of this notice.

This notice has also been given to the tenant in possession of the property. You cannot retaliate against the tenant pursuant to Civil Code section 1942.5. The relocation payment shall be made available by you, the owner or designated agent, to the tenant pursuant to Health and Safety Code section 17975.2.

Contact information

My direct office phone number is (805) 897-2604. Our offices are closed every other Friday please call 564-5485 to find out the Friday we will be closed. Inspector office hours are 7:30-8:30 a.m. and 3:00-4:00 p.m. Monday through Friday except for Thursday afternoon and our "off" Friday. You may also contact our office for plan submittal and permit issuance requirements at (805) 564-5485 between the hours of 7:30 and 4:30 p.m., Monday through Friday. The Community Development public counters are located at 630 Garden Street. Additional information is available online at www.SantaBarbaraCa.gov

Page 5 of 11

N. CHANGE OF USE. Whenever the type of use of any existing building is changed to another type of use that requires more parking spaces under this Chapter than were required for the prior use, there shall be provided additional permanently maintained parking spaces as required by this chapter for said building and any other existing building located on the parcel or parcels.

22.68.020 Design Review – Nonresidential and Multi-Family Residential Buildings

A. APPROVAL REQUIRED BEFORE ISSUANCE OF PERMIT. No building permit or grading permit, the application for which is subject to design review by the Architectural Board of Review in accordance with the requirements of this Chapter 22.68, shall be issued without the approval of the Board or the City Council, on appeal.

B. BUILDING PERMITS – NONRESIDENTIAL, MULTIPLE RESIDENTIAL, DUPLEX, TWO OR MORE DETACHED RESIDENTIAL UNITS AND MIXED USE. Any application for a building permit to construct, alter, or add to the exterior of a nonresidential, multi-family residential, residential duplex, or mixed use (residential and nonresidential) building or a related accessory structure, or any application which will result in two or more detached residential units on one lot in any zone (other than the Single Family Zones listed in Chapter 28.15 of this Code), shall be referred to the Architectural Board of Review for design requirements of this Chapter.

ABATEMENT:

Design Review, Development Application Review Team (DART), and Coastal Development Permit (CDP) Applications are anticipated to abate the above violations. Please reference Attachment B, which is the Guide to the Discretionary Review/Development Application Review Team (DART) Process. A design professional and/or permit processor is highly recommended to guide the property owner through the City's permit processes. You can also consult the Planning and Zoning Counter located at 630 Garden Street. The counter is open Monday through Thursday, 8:30 am to 4:30 pm, and every other Friday.

The deadline to submit the Design Review, DART, and CDP applications is three months from the date of this letter, which is 2/1/2018.

Below are the initial steps necessary to make the application submittal deadline:

- Design your project:** Please consult a design professional and/or the Planning Counter for this step to make sure the proposed project is in compliance with the uses allowed in the M-1, Manufacturing Zone.
- Design Review: Conceptual:** Submit an application for the Architectural Board of Review (Attachment C).
- DART Application:** Submit an application for the Development Application Review Team (Attachment D).

Page 3 of 11

Your prompt attention to this matter is appreciated.

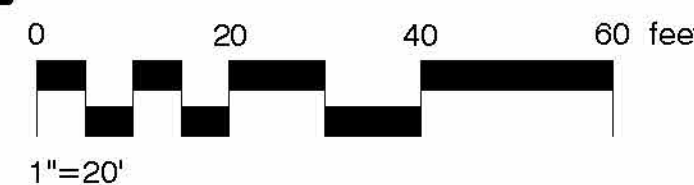
Sincerely,

Lauren Anderson
Building Inspector

Attachment: Field Investigation Images

Cc: File
Carolyn Park, Good Management, 1 N Calle Cesar Chavez, Santa Barbara, CA 93103

Page 6 of 11



rrm design group
rrmdesign.com | (805) 963-0283
1800 E. Highway 101, Suite 100, Santa Barbara, CA 93101



DESIGN
DEVELOPMENT
(NOT FOR
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E-Mail: rcd@rjc-inc.com



MARBORG
21 SOUTH QUARANTINA STREET
Santa Barbara, CA 93103

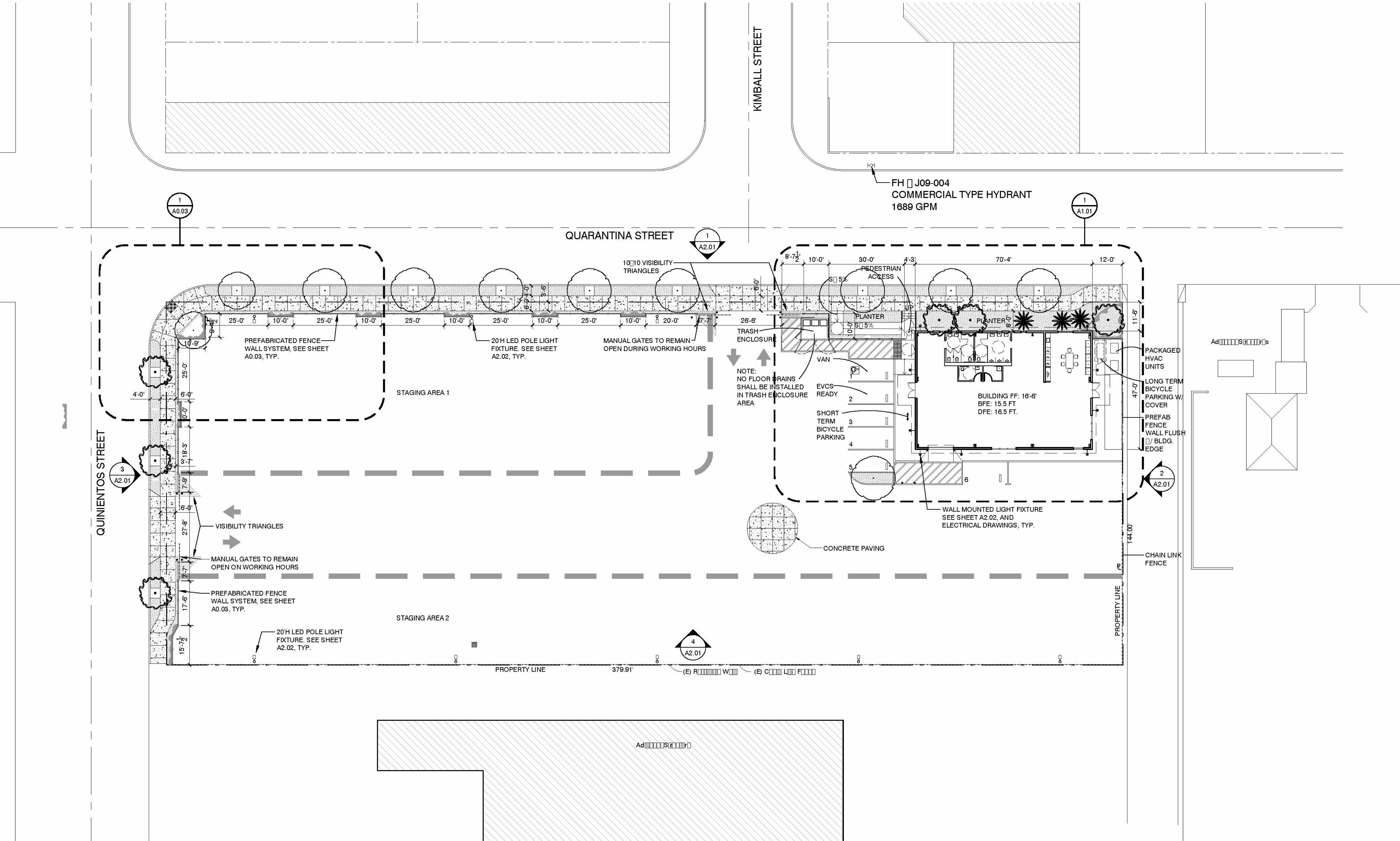
MARBORG
INDUSTRIAL DEVELOPMENT

NOTICE OF VIOLATION
Date: 10/08/2020
Project: MARBORG QUARANTINA

C5.0

Scale: as noted
Drawn by: NIB
RJC File Number: 2019.16

1 Site Plan
SCALE: 1" = 20'-0"



GENERAL NOTES	
1. REFER TO SHEET 0000 FOR S. MP BMPs	
2. REFER TO LANDSCAPE PLAN SHEET L10 FOR THE PLANT LIST	
3. REFER TO ELECTRICAL SHEET E0-2 FOR OUTDOOR LIGHTING SYMBOLS AND NOTES	
4. REFER TO SHEET 0202 AND ELECTRICAL SHEET E1A FOR OUTDOOR LIGHT FIXTURE TYPES AND DETAILS	

PARKING COUNT	
BUILDING GROSS AREA	3,306 SQ. FT.
STANDARD VEHICLE PARKING	4
ACCESSIBLE VAN PARKING	1
EVCS READY PARKING	1
TOTAL	6 SPACES



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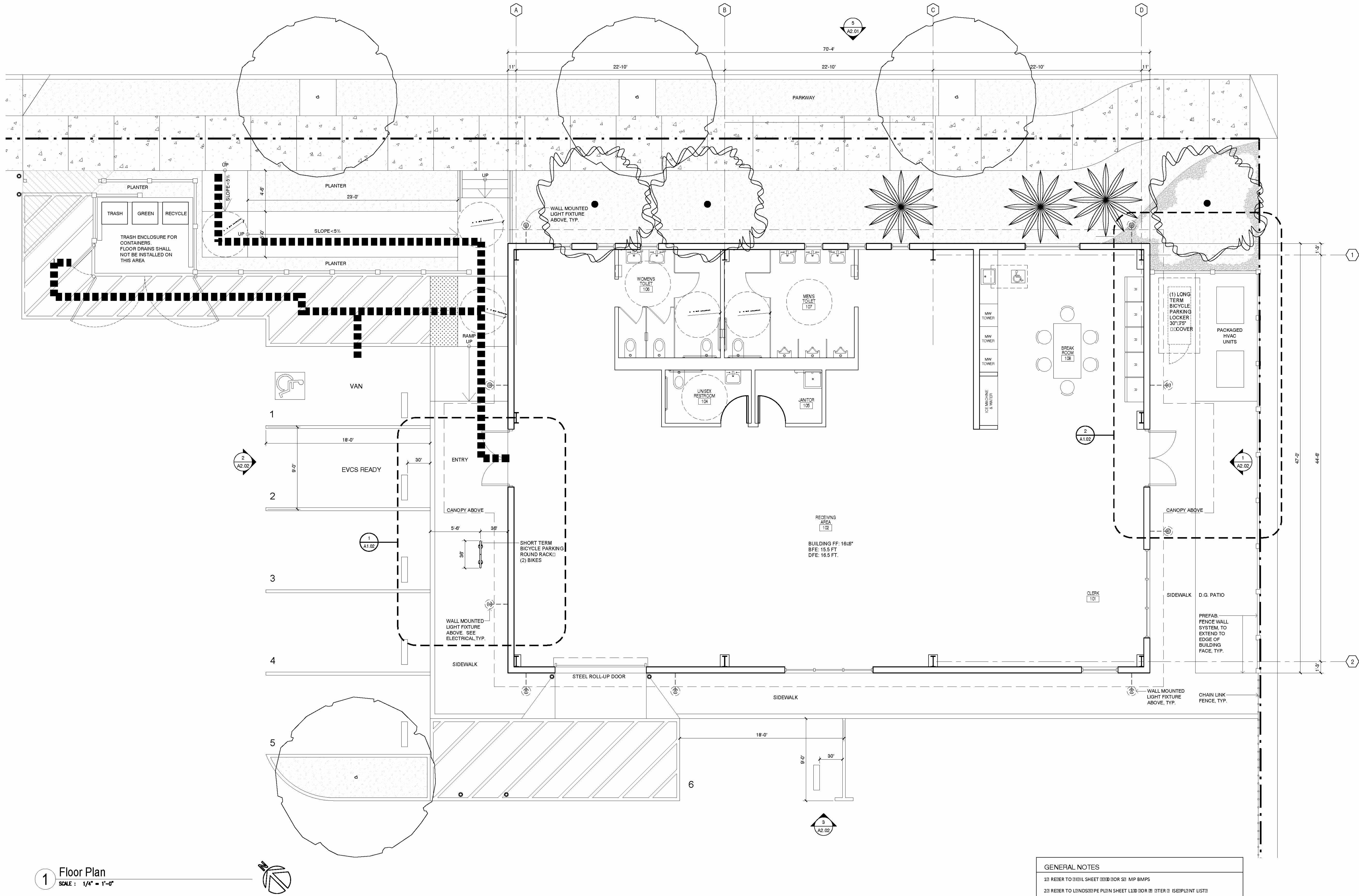
MARBORG
2 SOUTH QUARANTINA STREET
Santa Barbara, CA 93103

MARBORG
INDUSTRIAL DEVELOPMENT

Drawn by: EO
RJC File Number: 2019.16

Revisions:
NOT FOR CONSTRUCTION

A0.02 SITE PLAN
Scale: as noted Date: 10/08/2020
Project: MARBORG QUARANTINA



1 Floor Plan
SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. REFER TO 2018 SHEET 0201 FOR MP BMPs

2. REFER TO LANDSCAPE PLAN SHEET 1301 FOR TREE PLANT LIST

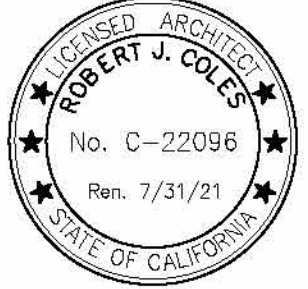
3. REFER TO ELECTRICAL SHEET 0101 FOR OUTDOOR LIGHT FIXTURE TYPES AND LOCATIONS

LEGEND

■■■■■■ ACCESSIBLE ROUTE

NOTE:

PATH OF TRAVEL (POT) AS INDICATED IS A BARRIER FREE ACCESSIBLE ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/4" BEVELLED AT 30° MAXIMUM SLOPE EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 36" WIDE SURFACE SHALL BE SLIP RESISTANT STABLE AND FIRM. CROSS SLOPE SHALL NOT EXCEED 1/4" AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 1/4" UNLESS OTHERWISE INDICATED SEE 0201. POT SHALL BE MAINTAINED FREE OF OBJECTS GREATER THAN 4" PROJECTION FROM ALL AND ABOVE 4" AND LESS THAN 27" BARRIER FREE ARCHITECT TO VERIFY THAT ALL BARRIERS IN THE PATH OF TRAVEL HAVE BEEN REMOVED OR WILL BE REMOVED UNDER THIS PROJECT AND PATH OF TRAVEL COMPLIES WITH CBC 0201.



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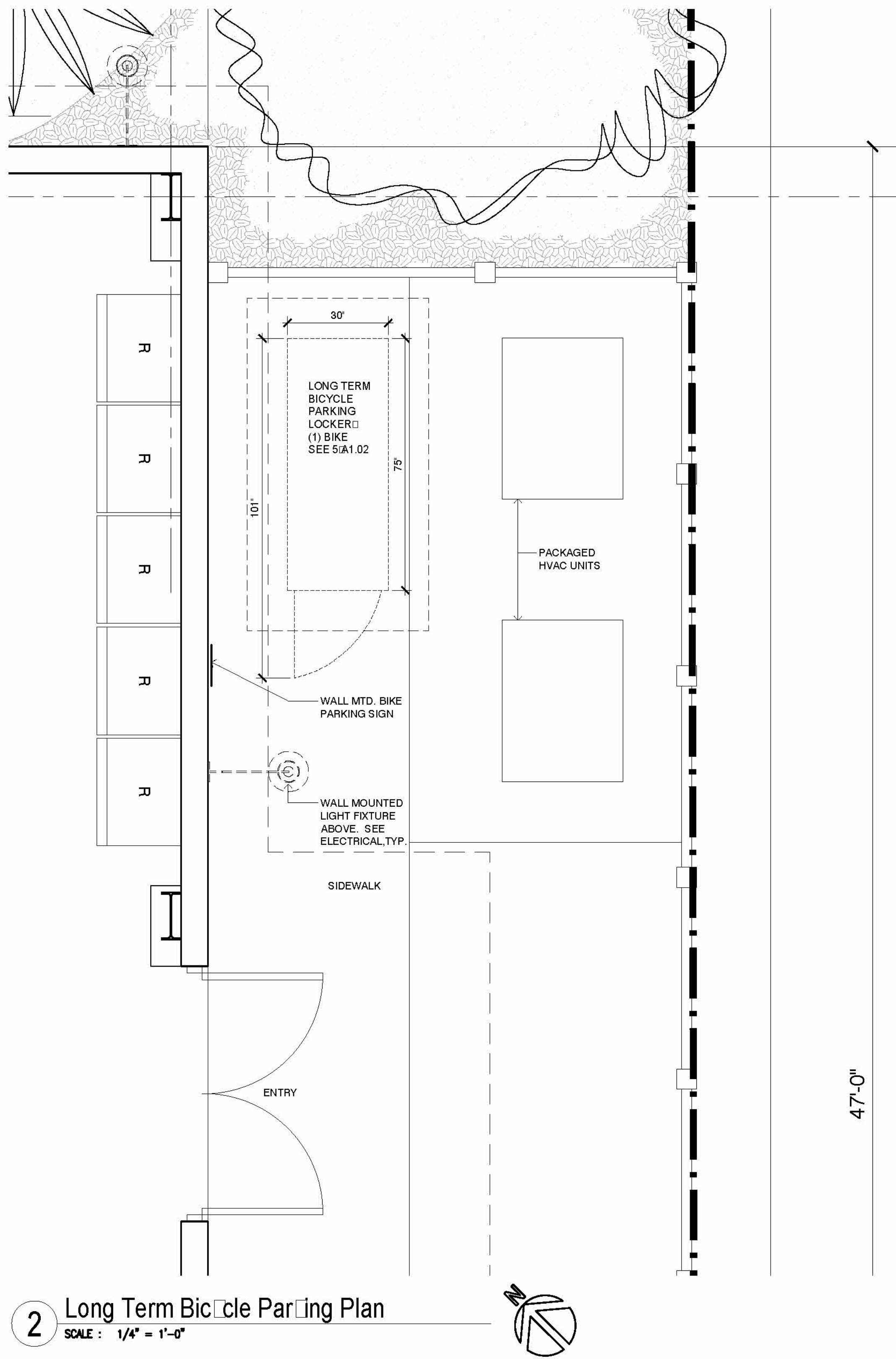
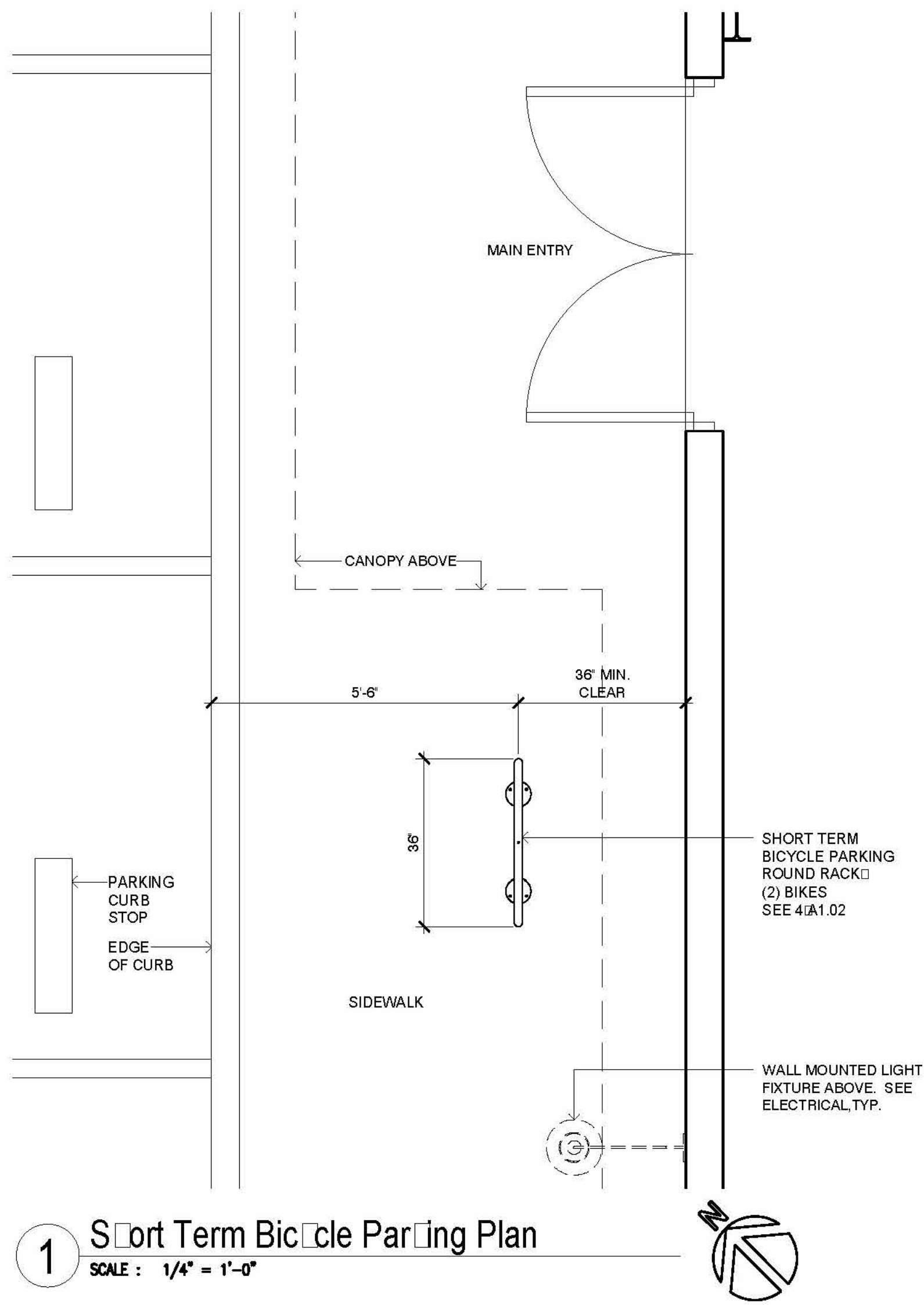
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Drawn by: EC
RJC File Number: 2019.116
NOT FOR CONSTRUCTION

Revisions:
NOT FOR CONSTRUCTION

A1.01 FLOOR PLAN
Date: 10/08/2020
Project: MARBORG GUARANTINA



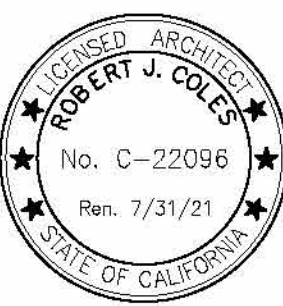
**4 ROUND RACK
SHORT TERM BIKE PARKING**
SCALE : NTS

PRODUCT INFORMATION:
CAPACITY: 2 BIKES
MATERIAL: 1.5" SCHED. 40 PIPE, 2" OD
WIDTH: 36"
HEIGHT: 32"
FINISH: POWDER COAT
MOUNTING: SURFACE
OPTIONS: LEAN BAR



**5 BICYCLE LOCKER
LONG TERM BIKE PARKING**
SCALE : NTS

PRODUCT INFORMATION:
CAPACITY: 1 BIKE
MATERIAL: 16 GA. GALV. STEEL
WIDTH: 30"
HEIGHT: 75"
FINISH: POWDER COAT
LOCK TYPE: PAD LOCK HANDLE



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MARBORG
INDUSTRIAL DEVELOPMENT

Drawn by: EQ
RJC File Number: 2019.16

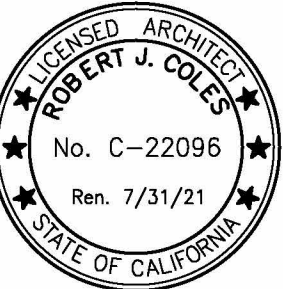
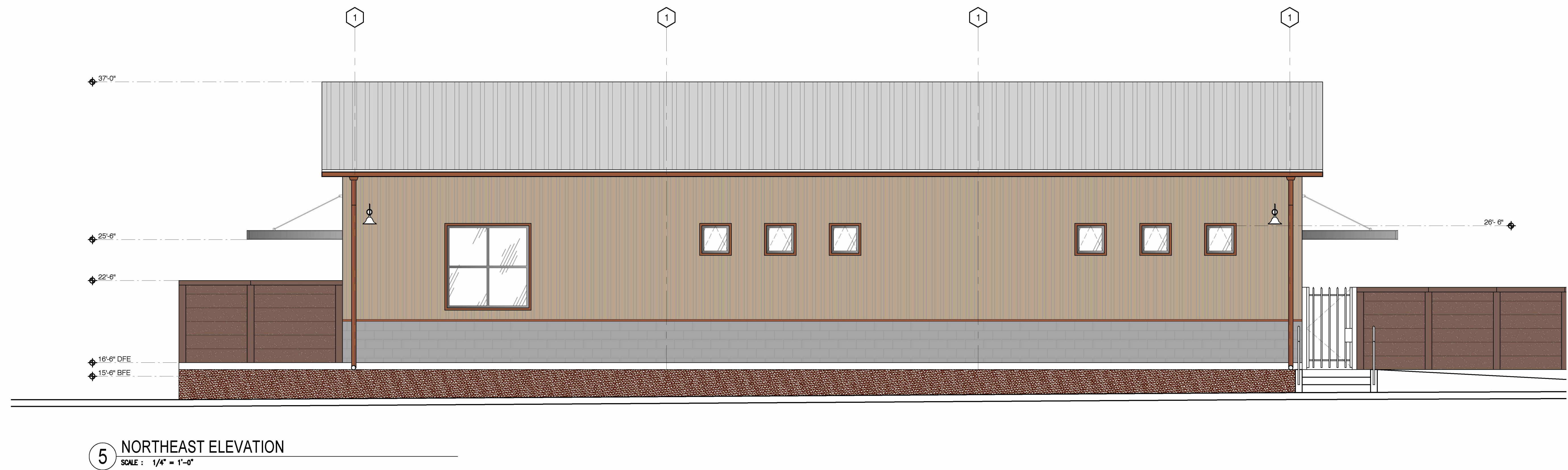
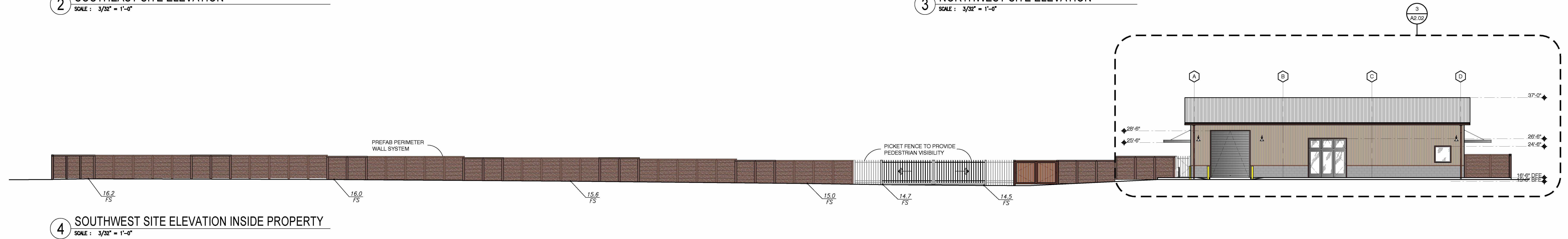
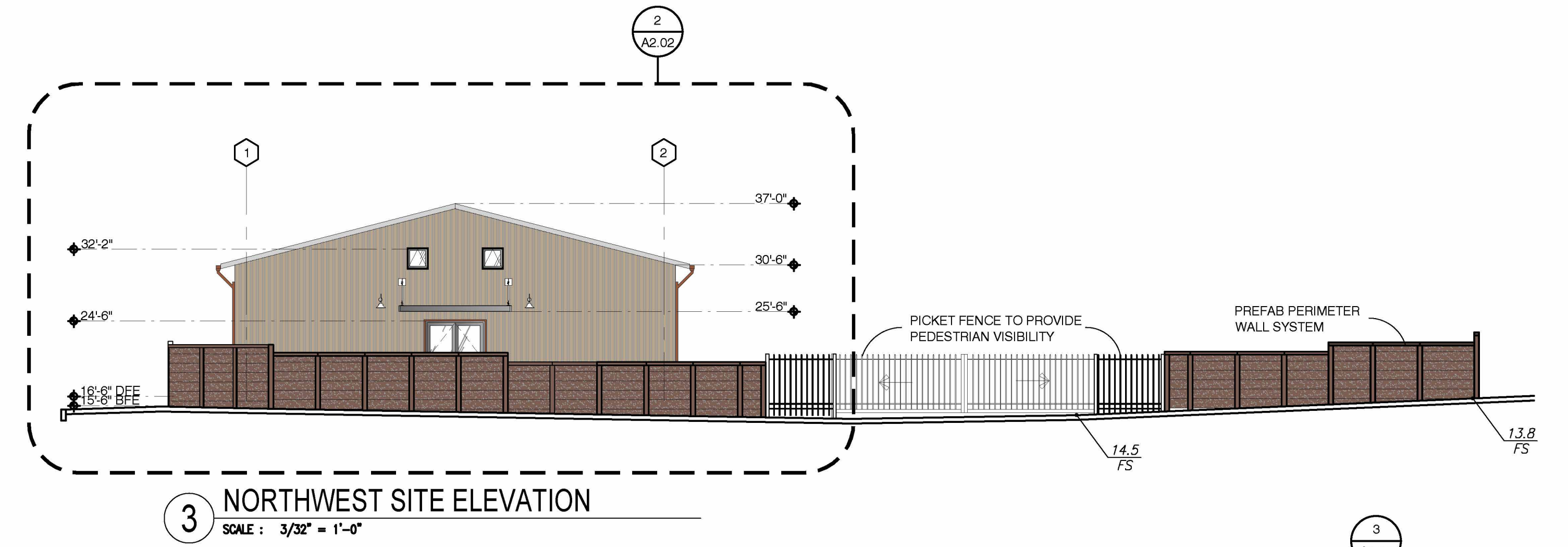
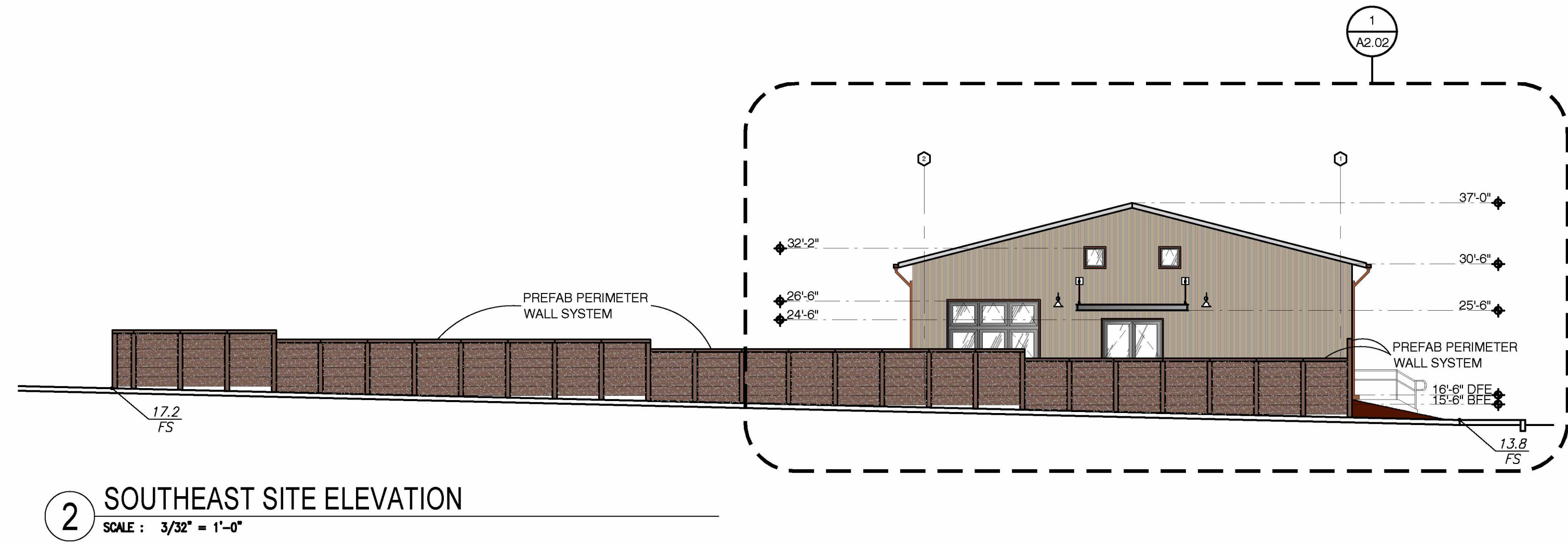
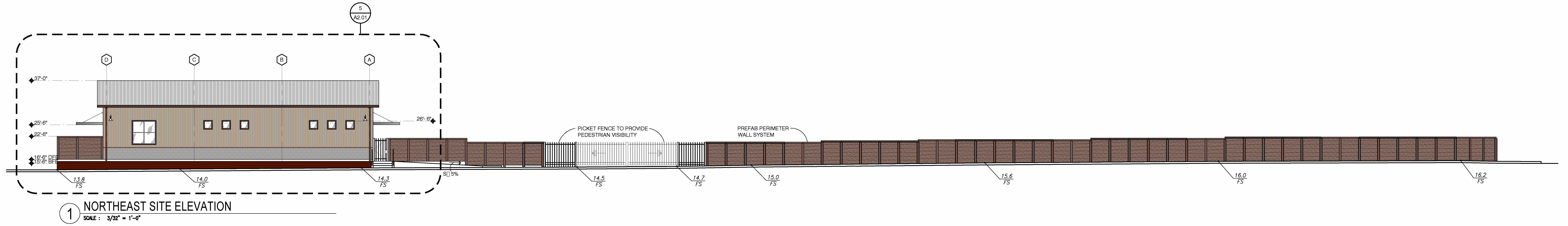
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A1.02 BICYCLE PARKING PLANS

Scale: as noted Date: 10/08/2020

Project: MARBORG QUARANTINA

Revisions:



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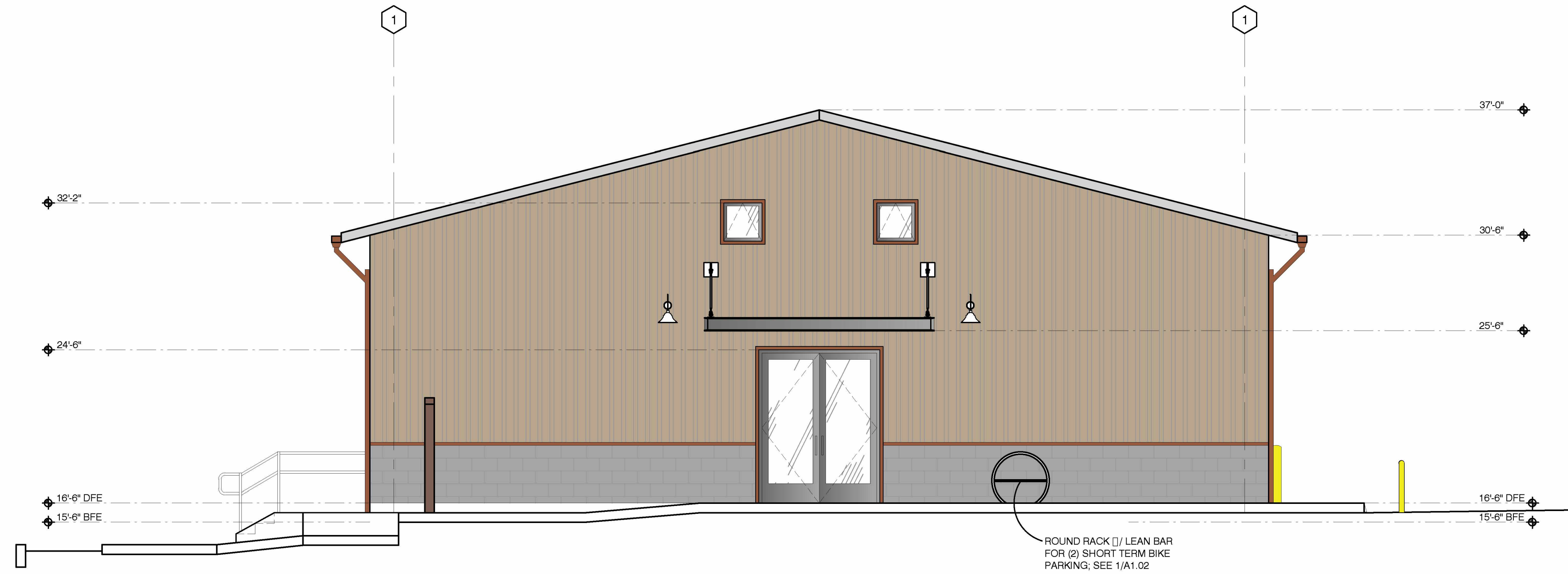
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 RJC File Number: 2019.15

Revisions:
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A2.01 ELEVATIONS
 Scale: as noted Date: 10/06/2020
 Project: MARBORG QUARANTINA



1 SOUTHEAST ELEVATION
SCALE : 1/4" = 1'-0"



2 SOUTHWEST ELEVATION
SCALE : 3/32" = 1'-0"



3 SOUTHWEST ELEVATION
SCALE : 3/32" = 1'-0"



4 EXTERIOR WALL MOUNTED FIXTURE
SCALE : 1/4" = 1'-0"

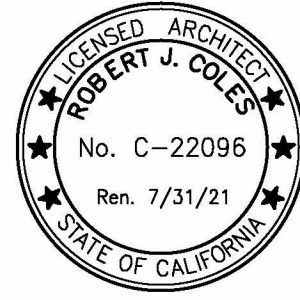


5 EXTERIOR POLE MOUNTED FIXTURE
SCALE : 3/32" = 1'-0"



FIXTURE INFORMATION:
MFR: ANP LIGHTING
MODEL: WOODS20
LAMP TYPE: LED
COLOR TEMPERATURE: 2700K
POWER: 24W

FIXTURE INFORMATION:
MFR: ENERGY LIGHT
MODEL: PK60 AREA LIGHT
LAMP TYPE: LED
COLOR TEMPERATURE: 3000K
POWER: 80W
POLE HEIGHT: 20'



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MARBORG
INDUSTRIAL DEVELOPMENT

Drawn by: EO
RJC File Number: 2019.16

Revisions:
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A2.02 ELEVATIONS
Scale: as noted Date: 10/06/2020
Project: MARBORG QUARANTINA



1 QUINIENTOS ST VEHICLE ACCESS
SCALE : NOT TO SCALE



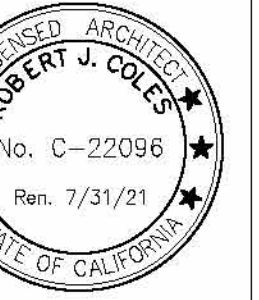
3 NORTHWEST PERSPECTIVE
SCALE : NOT TO SCALE



2 WEST PERSPECTIVE
SCALE : NOT TO SCALE



4 SOUTH PERSPECTIVE
SCALE : NOT TO SCALE



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A301 PERSPECTIVES
Scale: as noted Date: 10/08/2020
Project: MARBORG QUARANTINA



1 QUARANTINA ST & QUINIENTOS ST
SCALE : NOT TO SCALE



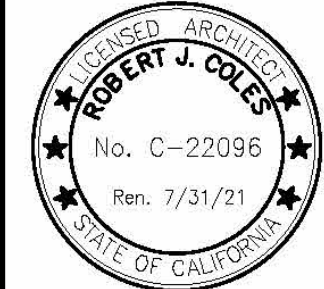
2 QUARANTINA ST
SCALE : NOT TO SCALE



3 QUARANTINA ST VEHICLE ACCESS
SCALE : NOT TO SCALE



4 NE PROPERTY CORNER
SCALE : NOT TO SCALE



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MARBORG
2' SOUTH QUARANTINA STREET
Santa Barbara, CA
93103

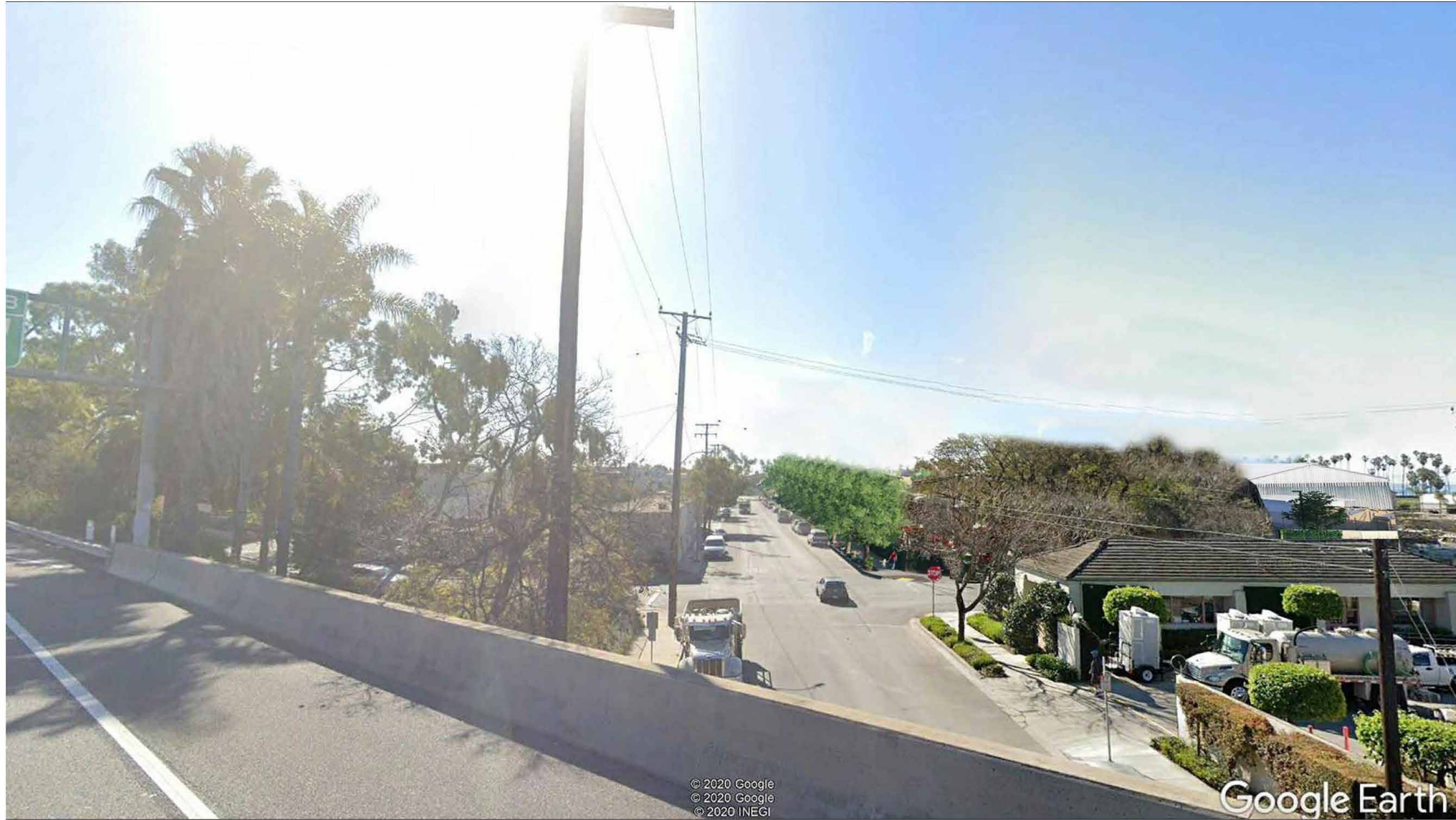
MARBORG
INDUSTRIAL DEVELOPMENT

Revisions: Drawn by: EO
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RJC File Number: 2019.16

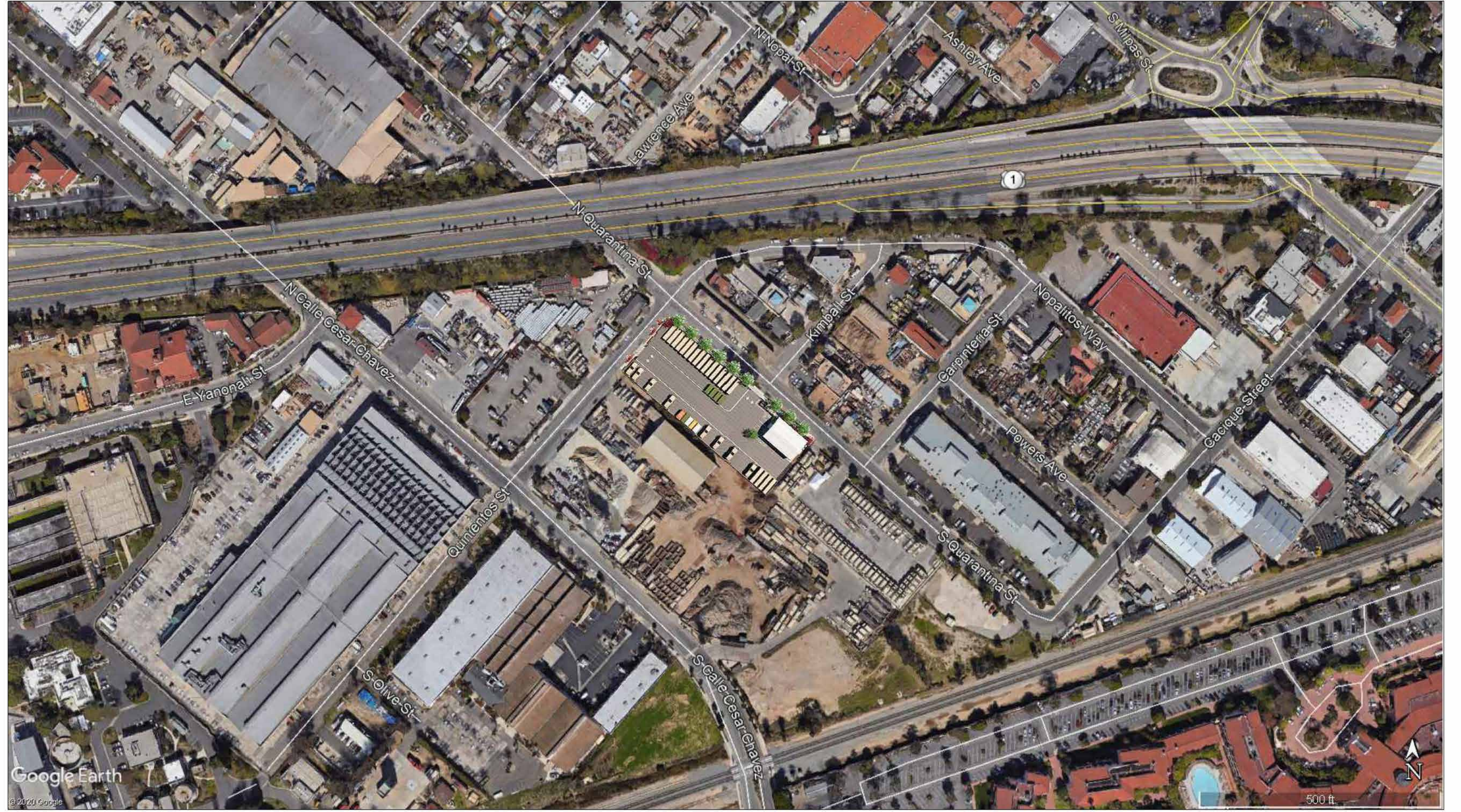
A302 PERSPECTIVES
Scale: as noted Date: 10/08/2020
Project: MARBORG QUARANTINA



1 PEDESTRIAN ACCES
SCALE : NOT TO SCALE



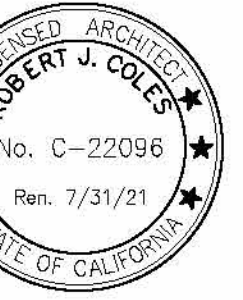
3 VIEW FROM FREEWAY
SCALE : NOT TO SCALE



2 VICINITY BIRD EYE VIEW
SCALE : NOT TO SCALE



4 NORTH BIRD EYE VIEW
SCALE : NOT TO SCALE



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Revisions:
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A303 PERSPECTIVES
Scale: as noted Date: 10/08/2020
Project: MARBORG QUARANTINA

SITE LED FIXTURE SCHEDULE							
		LED MODULE					
TYPE	MANUFACTURER AND CATALOG NUMBER	TYPE	COLOR TEMP	WATTS	DRIVER	OPTIC/LENS	REMARKS
	ANP LIGHTING W0520-MO24LDDW27K-SRTCW-E6-72M-UNV		2700	24	ELECTRONIC	DIFUSE	FULL CUTOFF RLM SCONCE

- ## GENERAL NOTES

1. VISIT JOB SITE AND VERIFY EXISTING CONDITIONS PRIOR TO BID.
2. THE ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2017 CALIFORNIA ELECTRICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES. WHERE PLANS CALL FOR A HIGHER STANDARD THAN APPLICABLE CODES, THE PLANS SHALL GOVERN.
3. CONDUIT RUNS ARE SHOWN DIAGRAMMATICALLY. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD TO SUIT FIELD CONDITIONS.
4. ALL ELECTRICAL EQUIPMENT, APPLIANCES AND LIGHTING FIXTURES SHALL BE LISTED BY A RECOGNIZED TEST LAB AND BEAR THAT LABEL OF APPROVAL.
5. CONTRACTOR SHALL FURNISH, INSTALL AND CONNECT ALL MATERIAL AND EQUIPMENT FOR THIS WORK UNLESS OTHERWISE NOTED.
6. FURNISH DISCONNECT SWITCHES AT REMOTE LOCATIONS.
7. ALL SPACES AS INDICATED ON PANELS OR SWITCHBOARDS SHALL BE COMPLETE WITH HARDWARE AND BUSING FOR FUTURE BREAKER OR SWITCH.
8. CHECK ARCHITECTURAL PLANS FOR DOOR SWINGS BEFORE INSTALLING SWITCH OUTLETS.
9. GROUNDING AND BONDING SHALL BE PER CODE PLUS ANY ADDITIONAL PROVISIONS SPECIFIED OR SHOWN ON DRAWINGS.
10. ALL CONDUIT RUNS SHALL CONTAIN A CODE SIZED GREEN GROUND WIRE.
11. THESE PLANS ARE NOT COMPLETE UNTIL APPROVED BY THE AUTHORITY HAVING JURISDICTION.
12. ALL FEEDER CONDUCTORS SHALL BE IN CONDUIT. BRANCH CIRCUITS MAY BE NON-METALLIC SHEATHED CABLE.
13. ALL CONDUCTORS SHALL BE COPPER WITH TYPE THHN/THWN INSULATION.
14. COORDINATE WITH SERVING ELECTRICAL UTILITY COMPANY AND MAKE PROVISIONS FOR ELECTRICAL SERVICE ACCORDINGLY. INCLUDE ALL SERVICE COSTS AND UTILITY COMPANY CHARGES IN BID.
15. COORDINATE WITH SERVING TELEPHONE UTILITY COMPANY AND MAKE PROVISIONS FOR TELEPHONE SERVICE ACCORDINGLY. INCLUDE ALL SERVICE COSTS AND ANY UTILITY COMPANY CHARGES IN BID.
16. COORDINATE WITH SERVING CABLE TELEVISION COMPANY AND MAKE PROVISIONS FOR CABLE TELEVISION ACCORDINGLY. INCLUDE ALL SERVICE COSTS AND ANY UTILITY COMPANY CHARGES IN BID.
17. ALL PERMITS SHALL BE OBTAINED AND PAID FOR BY CONTRACTOR.

ACCESSIBILITY NOTES

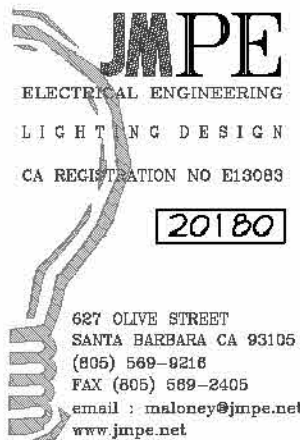
Installation of switches, outlets and controls to reflect the accessibility requirements of the 2013 accessibility codes

1. CEC 118-308-1.1 Electrical controls and switches intended to be used by the occupant of a room or area shall be located within the allowable reach ranges. Low reach shall be measured from the bottom of the outlet box and high reach is measured to the top of the outlet box.
2. CEC 118-308-1.2 Electrical receptacle outlets on branch circuits of 30 amperes or less and communication system receptacles shall be located in the allowable reach range. Low reach shall be measured from the bottom of the outlet box and high reach is measured to the top of the outlet box.
3. CEC 118-308-2.1 High forward reach that is unobstructed shall be 48 inches maximum and the low forward reach shall be 15 inches minimum above finish floor or ground.
4. CEC 118-308-2. Forward Reach Obstructed - Electrical receptacle outlets shall be located no more than 44 inches measured from the bottom of the receptacle outlet box when the obstruction is over 20° and does not exceed 25°. When the depth is less than 20° height can be increased to 48". (desk counters)
5. CEC 118-308-3 Side Reach Obstructed - Electrical receptacle outlets shall be located no more than 46 inches measured from the top of the receptacle outlet box when the obstruction is over 10° and does not exceed 24". When the depth is less than 10° height can be increased to 48".
6. Overhanging light fixtures or wall fixtures projecting more than 4" from the wall surface shall be a minimum of 80" above the walking surface.

SYMBOLS

- | | |
|--|--|
| | CONDUIT EXISTING |
| | CONDUIT CONCEALED IN WALL OR CEILING |
| | CONDUIT CONCEALED UNDER FLOOR OR BELOW GRADE |
| | CONDUIT STUCCOED OUT AND CAPPED |
| | CONDUIT TURNED UP |
| | CONDUIT TURNED DOWN |
| | HATCH MARKS INDICATE NO. OF #12 WIRES IN CORD SIZED CONDUIT (3) MAX. IN 1/2" C., (5) MAX. IN 3/4" C., (8) MAX. IN 1" C., NO MARKS = 2#12 |
| | HAVE RUN LETTER INDICATES PANEL NUMBER(S) INDICATES CIRCUIT(S) |
| | SANCUIT |
| | GROUND CONNECTION |
| | DISTRIBUTION SWITCHBOARD OR PANEL |
| | PANEL, BRANCH CIRCUIT TYPE, SURFACE AND FLUSH |
| | SIGNAL TERMINAL CABINET, SURFACE & FLUSH |
| | FLUORESCENT FIXTURE |
| | OUTLET DATA: INK INDICATES WALL MOUNT, LETTER INDICATES SWITCH CONTROL, NO. INDICATES CIRCUIT. |
| | SURFACE FIXTURE ON FLUSH OUTLET. |
| | RECESSED FIXTURE WITH JUNCTION BOX FOR THRU WIRING |
| | EXIT LIGHT WITH ARROWS AS SHOWN ON PLANS, WALL AND CEILING MOUNT. |
| | LOW LEVEL EXIT SIGN, 4" x 6" ATT., 4" FROM DOOR JAMB |
| | LIGHT FIXTURE DESIGNATION, LETTER INDICATES TYPE, NO. INDICATES WATTAGE. SEE FIXTURE SCHEDULE. |
| | MECHANICAL EQUIPMENT DESIGNATION. SEE MECHANICAL DRAWINGS. |
| | SPECIAL RECEPTACLE - SEE PLAN |
| | METER |
| | FLUSH FLOOR RECEPTACLE |
| | RECEPTACLE, DUPLEX, 20A, 150V, NEMA 5-PR. 48" UNO. |
| | DUPLEX RECEPTACLE MTD. ABOVE BACKSPASH |
| | DUPLEX RECEPTACLE W/LOWER HALF SWITCHED |
| | GROUND FAULT CIRCUIT INTERRUPTING RECEPTACLE |
| | DOUBLE DUPLEX RECEPTACLE |
| | CEILING RECEPTACLE |
| | RECEPTACLE, DUPLEX, 20A, 150V, NEMA 5-2R 48" UNO. |
| | JUNCTION BOX 4" SQUARE, 1-1/2" DEEP UNO. |
| | THERMOSTAT F.B.O. 48" |
| | MOTOR, NO. INDICATES HORSEPOWER |
| | CLOCK, OUTLET +T-6" UNO. |
| | DISCONNECT SWITCH, NON-FUSED |
| | DISCONNECT SWITCH FUSED, HORSEPOWER RATED OR SIZED AS NOTED |
| | COMBINATION MAGNETIC STARTER WITH DISCONNECT SWITCH AND FUSED |
| | MAGNETIC MOTOR STARTER W/OVERLOADS IN EACH PHASE |
| | DIMMER W/INTEGRAL "ON-OFF" SW. |
| | FLUSHMOUNT |
| | PHOTOCELL |
| | SMOKE DETECTOR INTERCONNECTED AT 120V PROVIDE BATTERY BACKUP |
| | CARBON MONOXIDE DETECTOR INTERCONNECTED AT 120V PROVIDE BATTERY BACKUP |
| | CEILING MOUNTED OCCUPANCY SENSOR |
| | POWER PACK, LOW VOLTAGE POWER SUPPLY FOR FLUSH MOUNTED SENSORS |
| | TELEPHONE/COMPUTER/DATA OUTLET, TWO GANG BOX W/ 3 GANG COORDINATE & GROUNDWENT OPENING 6" UNO. |
| | CABLE TV OUTLET 48" UNO. |
| | NOTION SENSOR |
| | EXISTING SWITCH |
| | SINGLE POLE SWITCH |
| | DOUBLE POLE SWITCH |
| | THREE WAY SWITCH |
| | SWITCH W/PILOT LT. |
| | AR. SWITCH FOR GARBAGE DISPOSAL |
| | MANUAL MOTOR STARTER |
| | FIRE ALARM CONTROL PANEL |
| | GROUND FAULT CIRCUIT INTERRUPTING |
| | LAMP SAVING TAPENIM |
| | MAIN LUBES ONLY |
| | WITH |
| | CONDUIT ONLY |
| | WEATHERPROOF |
| | FURNISHED BY OTHERS, INSTALL & CONNECT |
| | UNLESS NOTED OTHERWISE |
| | NATIONAL ELECTRICAL CODE |
| | NOT IN CONTRACT |
| | EXISTING |
| | NEW |
| | REMOVE |
| | RELOCATE |
| | SURFACE MOUNT |
| | UNDERGROUND |
| | COLD WATER PIPE |
| | ABOVE FINISHED FLOOR |
| | HEATING AND AIR CONDITIONING RATED CIRCUIT BREAKER |
| | LIGHT |

NOTE: NOT ALL SYMBOLS SHOWN ARE USED ON THIS PROJECT.



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RJC Inc.

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93160 - 0202



MARBORG
2 SOUTH QUARANTINA STREET
Santa Barbara, CA
93103

MARBORG
INDUSTRIAL DEVELOPMENT

Drawn by: EO
RJC File Number: 2019.16

E0-1 **GENERAL NOTES, SYMBOLS**
FIXTURE SCHEDULE

Scale: AS NOTED	Date: 10/08/2020	Revisions:
Project: MARBORG QUARANTINA		

STATE OF CALIFORNIA
Outdoor Lighting
NRCC-LTO-E (Created 11/19)
CALIFORNIA ENERGY COMMISSION
CERTIFICATE OF COMPLIANCE
NRCC-LTO-E
This document is used to demonstrate compliance with requirements in §110.9, §130.0, §130.2, §140.7, and §141.0(b)(2) for outdoor lighting scopes using the prescriptive path.
Project Name: Report Page: NRCC-LTO-E
Project Address: Date Prepared: Page 1 of 4

A. GENERAL INFORMATION

01 Project Location (city)

02 Climate Zone

03 Outdoor Lighting Zone per Title 24, Part 1 §10.114 or as designated by Authority Having Jurisdiction (AHJ):
☐ LZ-0: Very Low - Undeveloped Parkland ☐ LZ-2: Moderate - Rural Areas ☐ LZ-4: High - Must be reviewed by CA Energy Commission for Approval
☐ LZ-1: Low - Developed Parkland ☐ LZ-3: Moderately High - Urban Areas

B. PROJECT SCOPE

Table Instructions: Include any outdoor lighting systems that are within the scope of the permit application and are demonstrating compliance using the prescriptive path outlined in §140.7 or §141.0(b)(2) for alterations.
My project consists of:
01 New Lighting System Must Comply with Allowances from §140.7
02 Altered Lighting System Is your alteration increasing the connected lighting load (Watts)? ☐ Yes ☐ No
03 % of Existing Luminaires Being Altered? 04 Sum Total of Luminaires Being Added or Altered 05 Calculation Method
FOOTNOTES: % of Existing Luminaires Being Altered = (Sum Total of Luminaires Being Added or Altered / Existing Luminaires within the Scope of the Permit Application) x 100

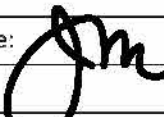
C. COMPLIANCE RESULTS

Table Instructions: If any cell on this table says "DOES NOT COMPLY" or "COMPLIES with Exceptional Conditions" refer to Table D. for guidance.
Calculation of Total Allowed Lighting Power (Watts) §140.7 or §141.0(b)(2)
01 General Hardscape Allowance §140.7(d)(1) (See Table I) + 02 Per Application §140.7(d)(2) (See Table J) + 03 Sales Frontage §140.7(d)(2) (See Table K) + 04 Ornamental §140.7(d)(2) (See Table L) + 05 Per Specific Area §140.7(d)(2) (See Table M) OR 06 Existing Power §141.0(b)(2) (See Table N) = 07 Total Allowed (Watts) ≥ 08 Total Actual (Watts) (See Table F) 09 07 Must be ≥ 08
Cutoff Compliance (See Table G for Details) Not Applicable
Controls Compliance (See Table H for Details)

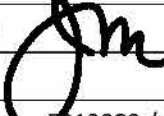
CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance: <http://www.energy.ca.gov/title24/2019standards> November 2019

STATE OF CALIFORNIA
Outdoor Lighting
NRCC-LTO-E (Created 11/19)
CALIFORNIA ENERGY COMMISSION
CERTIFICATE OF COMPLIANCE
NRCC-LTO-E
Project Name: Report Page: NRCC-LTO-E
Project Address: Date Prepared: Page 4 of 4

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

I certify that this Certificate of Compliance documentation is accurate and complete.
Documentation Author Name: JOHN MALONEY PE Documentation Author Signature: 
Company: JMPE Signature Date:
Address: 627 OLIVE STREET CEA/HERS Certification Identification (if applicable):
City/State/Zip: SANTA BARBARA, CA 93105 Phone: 805-569-9216

RESPONSIBLE PERSON'S DECLARATION STATEMENT

I certify the following under penalty of perjury, under the laws of the State of California:
1. The information provided on this Certificate of Compliance is true and correct.
2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).
3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
5. I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.
Responsible Designer Name: JOHN MALONEY PE Responsible Designer Signature: 
Company: JMPE Date Signed:
Address: 627 OLIVE STREET License: 013083 / 06-30-2021
City/State/Zip: SANTA BARBARA, CA 93105 Phone: 805-569-9216

CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance: <http://www.energy.ca.gov/title24/2019standards> November 2019

STATE OF CALIFORNIA
Outdoor Lighting
NRCC-LTO-E (Created 11/19)
CALIFORNIA ENERGY COMMISSION
CERTIFICATE OF COMPLIANCE
NRCC-LTO-E
Project Name: Report Page: NRCC-LTO-E
Project Address: Date Prepared: Page 2 of 4

D. EXCEPTIONAL CONDITIONS

This table is auto-filled with uneditable comments because of selections made or data entered in tables throughout the form.
No exceptional conditions apply to this project.

E. ADDITIONAL REMARKS

This table includes remarks made by the permit applicant to the Authority Having Jurisdiction.

F. OUTDOOR LIGHTING FIXTURE SCHEDULE

This Section Does Not Apply

G. CUTOFF REQUIREMENTS (BUG)

This Section Does Not Apply

H. OUTDOOR LIGHTING CONTROLS

This Section Does Not Apply

I. LIGHTING POWER ALLOWANCE (per §140.7)

This Section Does Not Apply

J. LIGHTING ALLOWANCE: PER APPLICATION

This Section Does Not Apply

K. LIGHTING ALLOWANCE: SALES FRONTAGE

This Section Does Not Apply

L. LIGHTING ALLOWANCE: ORNAMENTAL

This Section Does Not Apply

M. LIGHTING ALLOWANCE: PER SPECIFIC AREA

This Section Does Not Apply

CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance: <http://www.energy.ca.gov/title24/2019standards> November 2019

STATE OF CALIFORNIA
Outdoor Lighting
NRCC-LTO-E (Created 11/19)
CALIFORNIA ENERGY COMMISSION
CERTIFICATE OF COMPLIANCE
NRCC-LTO-E
Project Name: Report Page: NRCC-LTO-E
Project Address: Date Prepared: Page 3 of 4

N. EXISTING CONDITIONS POWER ALLOWANCE (alterations only)

This Section Does Not Apply

O. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION

Table Instructions: Selections have been made based on information provided in previous tables of this document. If any selection needs to be changed, please explain why in Table E. Additional Remarks. These documents must be provided to the building inspector during construction and can be found online at https://www.energy.ca.gov/title24/2019standards/2019_compliance_documents/Nonresidential_Documents/NRCL.
YES NO Form/Title Field Inspector
Pass Fail
NRCL-LTO-01-E - Must be submitted for all buildings. ☐ ☐
NRCL-LTO-02-E - Must be submitted for a lighting control system; or for an Energy Management Control System (EMCS), to be recognized for compliance. ☐ ☐

P. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE

Table Instructions: Selections have been made based on information provided in previous tables of this document. If any selection needs to be changed, please explain why in Table E. Additional Remarks. These documents must be provided to the building inspector during construction and must be completed through an Acceptance Test Technician Certification Provider (ATTCP). For more information visit: <http://www.energy.ca.gov/title24/sttc/providers.html>.
YES NO Form/Title Field Inspector
Pass Fail
NRCL-LTO-02-A - Must be submitted for all outdoor lighting controls except for alterations where controls area added to ≤ 20 luminaires. ☐ ☐

CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance: <http://www.energy.ca.gov/title24/2019standards> November 2019

OUTDOOR LIGHTING COMPLIANCE FORMS

E0-2
Scale: AS SHD
Project: MARBORG QUARANTINA
Revisions:
Date: 10/08/2020
Drawn by: EO
RUC File Number: 201916

MARBORG
INDUSTRIAL DEVELOPMENT

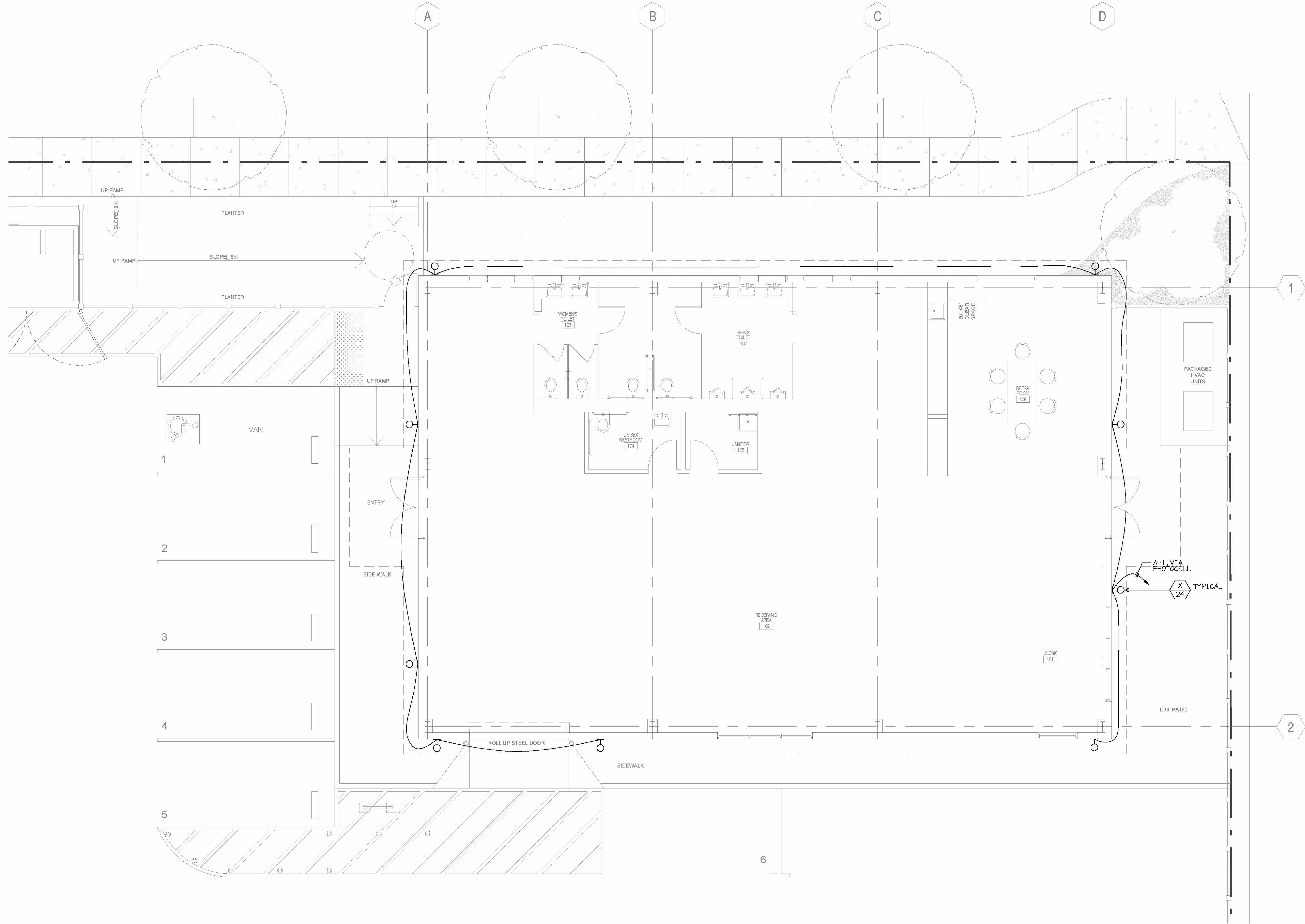
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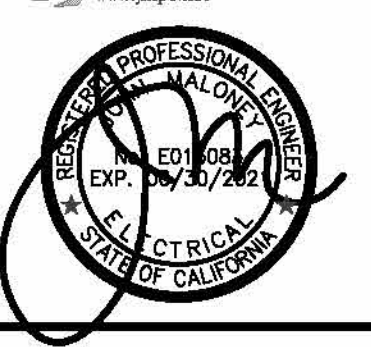
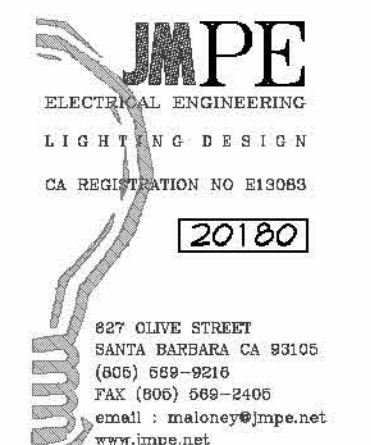
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REGISTERED ARCHITECT
ROBERT J. COPEL
No. C-22096
Ren. 7/31/21
STATE OF CALIFORNIA



ELECTRICAL SITE PLAN

SCALE: 1/4" = 1'-0"



ELECTRICAL SITE PLAN

E1.0

Scale: AS NOTED Date: 10/06/2020 Revisions: Project: MARBORG QUARANTINA RJC File Number: 2019.16

MARBORG INDUSTRIAL DEVELOPMENT

MARBORG
2 SOUTH QUARANTINA STREET
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MAHBOG
2 SOUTH QUARANTINA STREET
Santa Barbara, CA
93103

Drawn by: E0
RJC File Number: 201916

Revisions:

III



SCALE: $1/4" = 1'-0"$

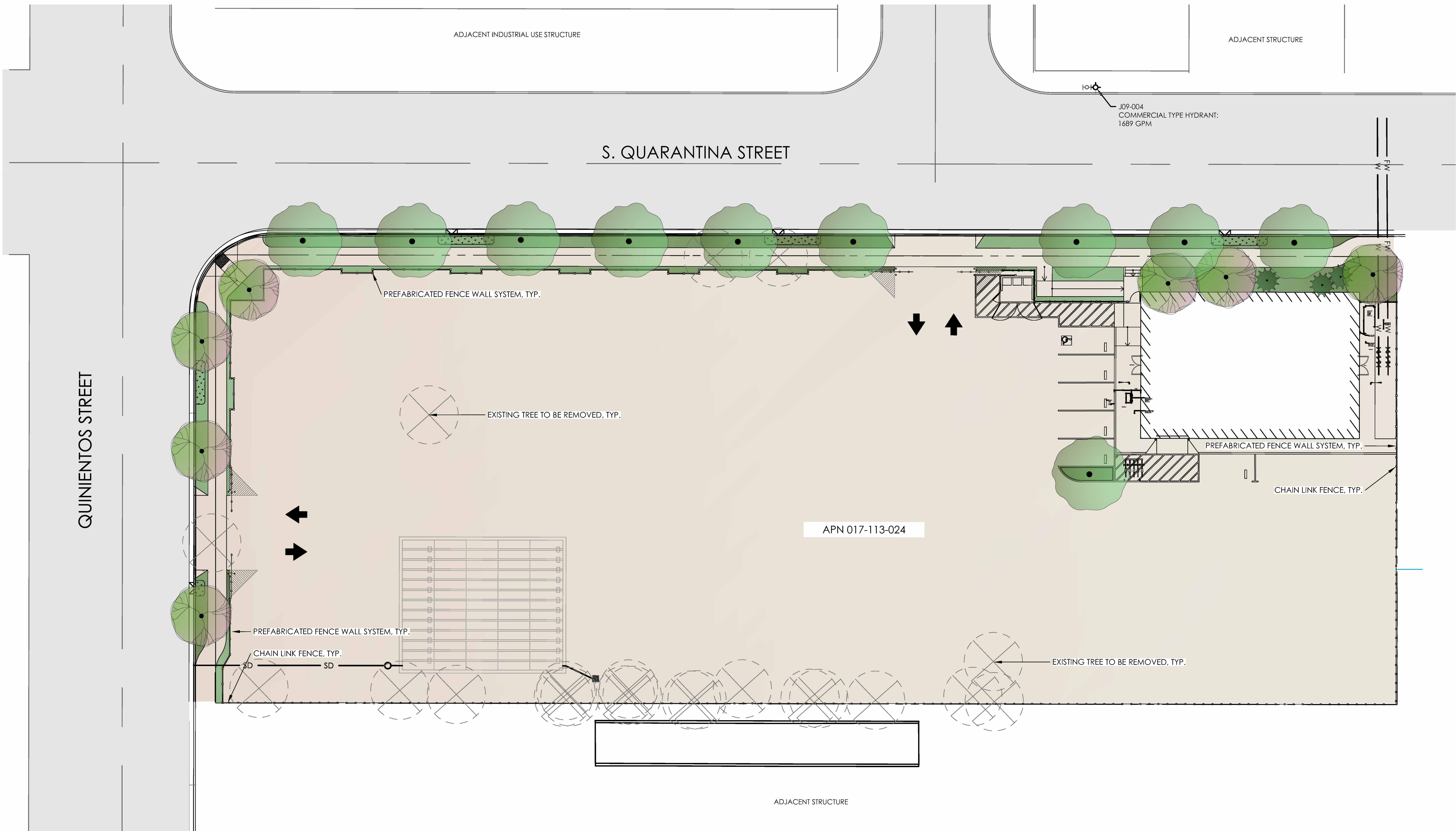
JAMPE
ELECTRICAL ENGINEERING
LIGHTING DESIGN
CA REGISTRATION NO. 813063

20180

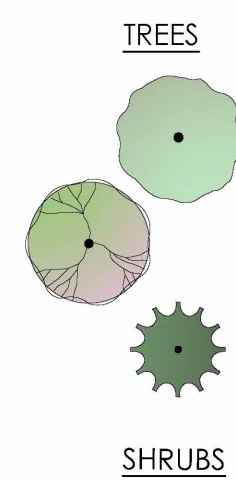
687 OLIVE STREET
SANTA BARBARA, CA 93101
(805) 568-8216
FAX: (805) 568-2405
email: csullivan@jampe.ca
www.jampe.net

REGISTERED PROFESSIONAL ENGINEER
IN THE STATE OF CALIFORNIA
ELECTRICAL
EXP. 01/30/2022

N:\1200_1279-02_CO19-2_South Quarantina St Stormwater Mitigation Prelim Eng\Planning\Landscape\AutoCAD\Landscape.dwg, L-1.0, Oct 08, 2020, 2:55pm, jrmcm



CONCEPTUAL PLANT SCHEDULE



BOTANICAL NAME	COMMON NAME	CONT	WUCOLS
• AGONIS FLEXUOSA	PEPPERMINT TREE	24"BOX	LOW
• BRACHYCHITON ACERIFOLIUS	FLAME TREE	15 GAL	LOW
YUCCA ELEPHANTIPES	SOFT-TIPPED YUCCA	15 GAL	VERY LOW
AEONIUM ARBOREUM 'ZWARTKOP'	BLACK ROSE AEONIUM	1 GAL	LOW
AGAVE AMERICANA	CENTURY PLANT	5 GAL	VERY LOW
AGAVE PARRASANA	CENTURY PLANT	5 GAL	VERY LOW
AGAVE PARRYI TRUNCATA	ARTICHOKE AGAVE	5 GAL	VERY LOW
ALOE X 'BLUE ELF'	ALOE	1 GAL	LOW
BOUGAINVILLEA X 'TORCH GLOW'	TORCH GLOW BUSH BOUGAINVILLEA	5 GAL	LOW
CISTUS X SKANBERGII	CORAL ROCKROSE	1 GAL	LOW
CRASSULA OVATA	LARGE JADE PLANT	1 GAL	LOW
DISTICTIS BUCCINATORIA	BLOOD RED TRUMPET VINE	1 GAL	LOW
ECHEVERIA SUBRIGIDA	RED EDGE ECHEVERIA	1 GAL	LOW

GROUND COVERS

ECHINOCACTUS GRUSONII	GOLDEN BARREL CACTUS	5 GAL	VERY LOW
FESTUCA CALIFORNICA 'RIVER HOUSE BLUES'	CALIFORNIA FESCUE	1 GAL	LOW
FICUS PUMILA	CREEPING FIG	1 GAL	LOW
FOUQUIERIA SPLENDENS	OCOTILLO	5 GAL	VERY LOW
HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	VERY LOW
MACFADYENA UNGUIS-CATI	YELLOW TRUMPET VINE	1 GAL	LOW
PORTULACARIA AFRA	ELEPHANT BUSH	1 GAL	VERY LOW
SANSEVIERIA TRIFASCIATA 'LAURENTII'	SANSEVIERIA	5 GAL	LOW
SENECIO MANDRALISCAE 'BLUE CHALK STICKS'	SENECIO	1 GAL	LOW
SOLLYA HETEROPHYLLA	AUSTRALIAN BLUEBELL	1 GAL	LOW
DROSANTHEMUM FLORIBUNDUM	SHOWY DEWFLOWER	PLUGS	LOW
GAZANIA UNIFLORA	GOLD NUGGETS	PLUGS	LOW

* INDICATES CITY DESIGNATED STREET TREE - CONFIRMED BY SANTA BARBARA PARKS AND REC. DEPT. 07-02-2020

NOTES

- TOTAL SQUARE FOOTAGE OF LANDSCAPED AREA IS 3,162 SQUARE FEET.
- ALL PLANT MATERIAL SELECTED IS DROUGHT TOLERANT WITH LOW AND VERY LOW WATER NEEDS AS PER WUCOLS AND THE CITY WUCOLS ADDENDUM.
- LANDSCAPE AREAS SHALL BE COVERED WITH MULCH MATERIAL TO AN AVERAGE THICKNESS OF AT LEAST THREE INCHES THROUGHOUT, EXCEPT IN THE IMMEDIATE VICINITY OF WOODY TRUNKS.

PLANTING DESIGN CRITERIA:

THE PLANT PALETTE IS COMPRISED OF PLANT MATERIAL AND TREES KNOWN TO THRIVE IN THE LOCAL CLIMATE AND SOIL CONDITIONS. THIS PLANT PALETTE COUPLED WITH THE IRRIGATION SYSTEM DESCRIBED, HAS BEEN DESIGNED TO MEET OR EXCEED THE STATE AND LOCAL STANDARDS FOR WATER CONSERVATION THROUGH WATER EFFICIENT LANDSCAPE IRRIGATION DESIGN. LOW WATER SHRUBS AND GROUNDCOVERS COMPRISE 100% OF THE TOTAL LANDSCAPED AREA.

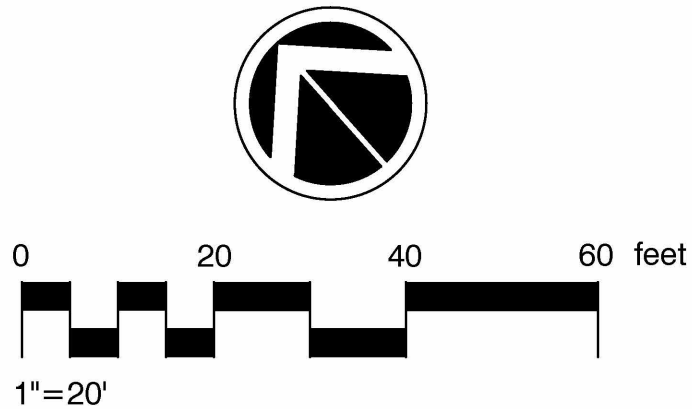
THIS PLAN WILL COMPLY WITH MUNICIPAL CODE REQUIREMENT AND STATE WATER EFFICIENT LANDSCAPE ORDINANCES (MWEO).

IRRIGATION DESIGN CRITERIA:

THE IRRIGATION DESIGN WILL COMPLY WITH THE LOCAL AND THE STATE WATER CONSERVATION REQUIREMENTS. THE WATER CONSERVATION METHOD FOR NEW ORNAMENTAL LANDSCAPE PLANT MATERIAL HAS VERY LOW TO LOW WATER USE. A WEATHER SENSING, 'SMART CONTROLLER' WILL BE USED TO MONITOR THE IRRIGATION WATER AND MANAGE DAILY WATER CONSUMPTION TO THE MINIMUM REQUIREMENTS FOR EACH HYDROZONE. ALL TREES, SHRUBS, AND GROUNDCOVER AREAS WILL BE IRRIGATED ON SEPARATE HYDROZONES SO THAT ONCE ESTABLISHED, WATER CAN BE REGULATED IN A MORE EFFICIENT MANNER. TREES WILL BE IRRIGATED BY BUBBLERS. ALL ORNAMENTAL PLANTING WILL RECEIVE DRIP IRRIGATION OR OTHER HIGHLY EFFICIENT IRRIGATION.

MWEO WATER CALCULATIONS:

Reference Evapotranspiration (Eto)			40.6				
Hydrozone # /Planting Description*	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (Sq. ft)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Areas							
		Drip		0.31		864.81	21769
		Drip		0.62		0.00	0
		Bubbler		0.62		222.22	5594
				Totals	3162	1087.04	27363
				ETWU Total			27363
				Maximum Allowed Water Allowance (MAWA)			35817



DESIGN
DEVELOPMENT
(NOT FOR
CONSTRUCTION)

THE INCLUDED DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED HEREIN ARE AND SHALL REMAIN THE PROPERTY OF RRM DESIGN GROUP AND NO PART HEREOF SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF RRM DESIGN GROUP. VERBAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE TO THE EFFECT THAT ANY SUCH REPRODUCTION OR TRANSMISSION SHALL NOT BE CONSIDERED A WAIVER OF RRM DESIGN GROUP'S RIGHTS. RRM DESIGN GROUP COPYRIGHT 2020. RRM IS A CALIFORNIA CORPORATION

2 SOUTH QUARANTINA
MARBORG PROPERTY
2 S. Quarantina St, Santa Barbara, CA 93103
LANDSCAPE PLAN

NO.	REVISION	DATE
△		
△		
△		
△		
△		
△		

PROJECT MANAGER NTB	
DRAWN BY SS	CHECKED BY MCH
DATE OCTOBER 8, 2020	
PROJECT NUMBER 1279-02-CO19	
SHEET	

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